



Policy and Resources Committee

Date: THURSDAY, 15 DECEMBER 2022
Time: 1.45 pm
Venue: COMMITTEE ROOMS, 2ND FLOOR, WEST WING, GUILDHALL

Members:

Deputy Christopher Hayward (Chairman)	Deputy Andrien Meyers
Deputy Keith Bottomley (Deputy Chairman)	Deputy Brian Mooney
Tijs Broeke (Vice-Chair)	Deputy Alastair Moss (Ex-Officio Member)
Mary Durcan (Vice-Chair)	Benjamin Murphy
Munsur Ali	Alderman Sir William Russell
Deputy Randall Anderson (Ex-Officio Member)	Ruby Sayed (Ex-Officio Member)
Deputy Rehana Ameer	Tom Sleigh
Deputy Marianne Fredericks	Deputy Sir Michael Snyder
Alderman Timothy Hailes	Deputy James Thomson
Caroline Haines, Queenhithe	James Tumbridge
Deputy Shravan Joshi	Deputy Philip Woodhouse
Deputy Edward Lord	Deputy Henry Colthurst (Ex-Officio Member)
Alderman Ian David Luder	Wendy Hyde (Ex-Officio Member)
The Rt. Hon. The Lord Mayor,	Deputy Simon Duckworth (Chief Commo- ner) (Ex-Officio Member)
Nicholas Lyons (Ex-Officio Member)	Alderman Professor Michael Mainelli
Catherine McGuinness	
Wendy Mead	

Enquiries: Polly Dunn
polly.dunn@cityoflondon.gov.uk

Accessing the virtual public meeting

Members of the public can observe this virtual public meeting at the below link:
www.youtube.com/watch?v=pGEEADdOfEY

A recording of the public meeting will be available via the above link following the end of the public meeting for up to one civic year. Please note: Online meeting recordings do not constitute the formal minutes of the meeting; minutes are written and are available on the City of London Corporation's website. Recordings may be edited, at the discretion of the proper officer, to remove any inappropriate material.

John Barradell
Town Clerk and Chief Executive

AGENDA

NB: Certain items presented for information have been marked * and will be taken without discussion, unless the Committee Clerk has been informed that a Member has questions or comments prior to the start of the meeting. These for information items have been collated into a supplementary agenda pack and circulated separately.

Part 1 - Public Agenda

1. APOLOGIES

2. MEMBERS DECLARATIONS UNDER THE CODE OF CONDUCT IN RESPECT OF ITEMS ON THE AGENDA

3. MINUTES

To consider minutes as follows:-

- a) To agree the public minutes of the Policy and Resources Committee meeting on 17 November 2022 (Pages 7 - 14)
- b) *To note the draft public minutes of the Equality, Diversity and Inclusion Sub-Committee meeting on 26th September 2022
- c) * To note the public minutes of the Civic Affairs Sub-Committee meeting on 7 October 2022
- d) *To note the draft public minutes of the Financial Investment Board meeting on Friday 21st October 2022
- e) *To note the draft public minutes of the Operational Property and Projects Sub-Committee meeting on 26th October 2022

4. *MARKETS BOARD RESOLUTION

For Information

5. APPLICATION FOR DESIGNATION OF SIMPSON'S TAVERN AS AN ASSET OF COMMUNITY VALUE

Report of the Executive Director Environment.
(to be read in conjunction with a non-public appendix at item 20)

For Decision
(Pages 15 - 70)

6. APPLICATION FOR DESIGNATION OF ST BRIDES TAVERN PUBLIC HOUSE AS AN ASSET OF COMMUNITY VALUE

Report of the Executive Director Environment.
(to be read in conjunction with a non-public appendix at item 21)

For Decision
(Pages 71 - 186)

7. **MEMBER OBSERVERS ON BID BOARDS**

Report of the Executive Director Environment.

For Decision
(Pages 187 - 192)

8. **CLIMATE ACTION STRATEGY (CAS) - CAPITAL DELIVERY PROGRAMME FOR OPERATIONAL BUILDINGS**

Report of the City Surveyor.

For Decision
(Pages 193 - 220)

9. **RENEWAL OF THE LONDON MARATHON PUBLIC SPACES PROTECTION ORDER**

Report of the Director of Community and Children's Services.

For Decision
(Pages 221 - 246)

10. *** PARLIAMENTARY BOUNDARY REVIEW**

Report of the Remembrancer.

For Information

11. *** POLICY AND RESOURCES CONTINGENCY/DISCRETIONARY FUNDS**

Report of the Chamberlain.

For Information

12. **QUESTIONS ON MATTERS RELATING TO THE WORK OF THE COMMITTEE**

13. **ANY OTHER BUSINESS THAT THE CHAIRMAN CONSIDERS URGENT**

14. **EXCLUSION OF THE PUBLIC**

MOTION - That under Section 100(A) of the Local Government Act 1972, the public be excluded from the meeting for the following items on the grounds that they involve the likely disclosure of exempt information as defined in Part I of the Schedule 12A of the Local Government Act.

Part 2 - Non-Public Agenda

15. NON-PUBLIC MINUTES

To consider non-public minutes of meetings as follows:-

- a) To agree the non-public minutes of the Policy and Resources Committee meeting on 17 November 2022 (Pages 247 - 248)
- b) *To note the draft non-public minutes of the Financial Investment Board meeting on Friday 21st October
- c) *To note the non-public minutes of the Civic Affairs Sub-Committee meeting on 7 October 2022.
- d) *To note the draft non-public minutes of the Operational Property and Projects Sub-Committee meeting on 26th October 2022

16. THE LORD MAYOR'S SHOW - FUTURE OPPORTUNITIES

Report of the Chief Operating Officer.

For Decision
(Pages 249 - 256)

17. GUILDHALL CHARGING REVIEW

Report of the Remembrancer.

For Decision
(Pages 257 - 272)

18. VISION 2030 - LAYING THE FOUNDATIONS FOR THE SUCCESS OF UK FINANCIAL AND PROFESSIONAL SERVICES

Report of the Executive Director of Innovation and Growth.

For Decision
(Pages 273 - 276)

19. CENTRAL CRIMINAL COURT - CELL AREA DUCTING AND EXTRACT SYSTEM BALANCING

Report of the City Surveyor.

For Decision
(Pages 277 - 296)

20. **APPLICATION FOR DESIGNATION OF SIMPSON'S TAVERN AS AN ASSET OF COMMUNITY VALUE**

Report of the Executive Director Environment.
(non public appendix to be read in conjunction with item 5)

For Decision
(Pages 297 - 298)

21. **APPLICATION FOR DESIGNATION OF ST BRIDES TAVERN PUBLIC HOUSE AS AN ASSET OF COMMUNITY VALUE**

Report of the Executive Director Environment.
(non public appendix to be ready in conjunction with item 6)

For Decision
(Pages 299 - 300)

22. **QUESTIONS ON MATTERS RELATING TO THE WORK OF THE COMMITTEE**

23. **ANY OTHER BUSINESS THAT THE CHAIRMAN CONSIDERS URGENT AND WHICH THE COMMITTEE AGREE SHOULD BE CONSIDERED WHILST THE PUBLIC ARE EXCLUDED.**

Part 3 - Confidential Agenda

24. **MINUTES**

- a) To agree the confidential minutes of the Policy and Resources Committee meeting on 17th November 2022
- b) To note the confidential minutes of the Civic Affairs Sub-Committee meeting on 7th October 2022

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POLICY AND RESOURCES COMMITTEE

Thursday, 17 November 2022

Minutes of the meeting of the Policy and Resources Committee held at Committee Rooms, 2nd Floor, West Wing, Guildhall on Thursday, 17 November 2022 at 2.00 pm.

Present

Members:

Deputy Christopher Hayward (Chairman)
Deputy Keith Bottomley (Deputy Chairman)
Tijs Broeke (Vice-Chair)
Mary Durcan (Vice-Chair)
Deputy Randall Anderson (Ex-Officio Member)
Deputy Rehana Ameer
Deputy Marianne Fredericks
Alderman Timothy Hailes
Deputy Shravan Joshi
Deputy Edward Lord
Alderman Ian David Luder
Catherine McGuinness
Wendy Mead
Deputy Andrien Meyers
Deputy Brian Mooney
Deputy Alastair Moss (Ex-Officio Member)
Alderman Sir William Russell
Ruby Sayed (Ex-Officio Member)
Deputy Sir Michael Snyder
James Tumbridge
Deputy Philip Woodhouse
Deputy Henry Colthurst (Ex-Officio Member)
Wendy Hyde (Ex-Officio Member)
Alderman Professor Michael Mainelli

In Attendance (Observing Online)

Munsur Ali

Officers:

Caroline Al-Beyerty	- Chamberlain
John Barradell	- Town Clerk and Chief Executive
Michael Cogher	- Comptroller and City Solicitor
Dionne Corradine	- Chief Strategy Officer
Paul Double	- City Remembrancer
Polly Dunn, Clerk	- Town Clerk's Department
Alice Hall	- Bridge House Estates
Barbara Hook	- Town Clerk's Department
Tim Jones	- Innovation and Growth
Luciana Magliocco	- Innovation and Growth

Simon McGinn	- Environment Department
Emma Moore	- Chief Operating Officer
Greg Moore	- Assistant Town Clerk
Damian Nussbaum	- Director of Innovation & Growth
Fiona Rawes	- Bridge House Estates
Bob Roberts	- Deputy Town Clerk
Chris Rumbles	- Town Clerk's Department
Elizabeth Scott	- Innovation and Growth
Soni Virdee	- Chamberlain's Department
Paul Wilkinson	- City Surveyor
Paul Wright	- Deputy Remembrancer

Part 1 - Public Agenda

1. APOLOGIES

Apologies were received from The Rt Hon The Lord Mayor Nicholas Lyons, Ben Murphy and James Thomson.

2. MEMBERS DECLARATIONS UNDER THE CODE OF CONDUCT IN RESPECT OF ITEMS ON THE AGENDA

There were no declarations.

3. MINUTES

- a) The public minutes of the Policy and Resources Committee meeting on 20th October were approved.
- b) The public minutes of the Resource Allocation Sub-Committee meeting on 4th October 2022 were noted.
- c) The public minutes of the Resource Allocation Sub-Committee meeting on 20th October 2022 were noted.
- d) The public summary of the Competitiveness Advisory Board meeting on 12th October 2022.

A Member commented on the summary of Competitiveness Advisory Board appearing very short at only half a page. Whilst it was accepted that full minutes would not be provided, it was agreed that a more detailed note would be produced moving forward.

- e) The public minutes of the Communications and Corporate Affairs Sub Committee meeting on 31st October 2022 were noted.

The Chairman referred to one item within the Communications and Corporate Affairs Sub-Committee minutes requiring approval of Policy and Resources Committee. This being a reallocation of Policy Initiatives Fund spending for use on sport engagement, from monies reserved for the Commonwealth Games Queen's Baton relay event.

Members were supportive of the proposal.

RESOLVED: That Members: -

- Agreed to repurpose the underspend of £39,399, allocated from the Policy Initiatives Fund to the Commonwealth Games Queen's Baton Relay event earlier this year, for other sport engagement activity in 2023/24.

4. **OPPORTUNITY LONDON CAMPAIGN**

The Committee considered a joint report of the Executive Director of Environment and City Surveyor seeking approval to continue City Corporation sponsorship of the Opportunity London campaign and seeking agreement to attend MIPIM 2023 as a partner in the campaign.

RESOLVED: Members agreed:

- That £25,000 from the Environment Department (Partnership and Engagement) local risk budget should be used to fund the ongoing sponsorship of Opportunity London.
- That the City of London Corporation should attend MIPIM 2023 with a total budget of £65,000 to be funded via Environment Department's (Partnership and Engagement) local risk budget (£40,000) City Surveyors local risk budget (£20,000) and the Central Communications Director local risk budget (£5,000).
- That £50,000 from the Environment Department (Partnership and Engagement) local risk budget should be used to fund the attendance of an umbrella programme of property related events being supported by Opportunity London.

5. **BECKFORD & CASS STATUES INTERPRETATION PROJECT**

The Committee considered a report of the Director of Innovation and Growth providing an update to the Beckford and Cass Statues Interpretation Project, noting action taken since the last update and presenting a proposal to delegate authority over the project to Culture, Heritage and Libraries Committee.

The Chairman confirmed he would be happy to support the proposal, but with a caveat that the matter should come back to Policy and Resources Committee in the event that there was any significant slippage on the revised delivery date.

The report and revised timeframe was welcomed by Members. A Member referred to the final wording and suggested this should come back to Policy and Resources Committee for review in advance of production, which the Chairman agreed. A Member, also Chair of Culture, Heritage and Libraries Committee, was also agreeable to this proposal.

A Member remarked on their support for the retain and explain approach. The Member suggested a moveable stand was not a long-term solution and that a permanent display was needed. Officers were asked to consider a display that would not damage the plinth but would allow a message to be on display permanently, which the Chairman acknowledged was a reasonable request.

There was support among Members of the need for a permanent display.

RESOLVED: That Members: -

- Note the content of the report.
- Agreed to delegate authority over the project to Culture, Heritage, and Libraries Committee (CHL) as elected by Court; noting the matter would come back to Policy and Resources Committee in the event that there was any significant slippage on the revised delivery date.

6. UN SUSTAINABLE DEVELOPMENT GOALS COMMUNICATION OF PROGRESS REPORT

The Committee considered a report of the Chief Strategy Officer seeking approval of the first annual UN Sustainable Development Goals Communication of Progress Report.

RESOLVED: That Members: -

- Approve the first annual UN Sustainable Development Goals Communication of Progress Report.
- Authorise the Chief Strategy Officer to submit the report for publication on the UN Global Compact internet page, in accordance with the commitment made to do so by 1st January 2023.
- Note the annual £550 membership fee to the UN Global Compact, and that Officers will review our membership and the requirement for future annual reports, prioritising the value added to the City of London Corporation in doing our business.
- Note that commitment to the UN Sustainable Development Goals would be sustained through our policies and ongoing activities in the three themes previously agreed by members of the Policy and Resources Committee.

7. APPROACH AND TIMELINE TO REDEVELOPING THE JOINT PHILANTHROPY STRATEGY AND CORPORATE VOLUNTEERING STRATEGY

The Committee considered a report of the Managing Director of Bridge House Estates providing headlines on progress with the Joint Philanthropy Strategy and the Corporate Volunteering Strategy.

A Member questioned the purpose of the strategies and it was explained that the City Corporation and its associated charities invested time, corporate assets, skills and funds in the region of £66m a year and there was a need to make sure these were as impactful as possible; there was a need to join up all the giving

that was taking place at the City Corporation. Members noted that a report would follow at an appropriate point setting out outcomes of delivery against the strategies.

RESOLVED: That Members: -

- Note the update on the implementation of the Joint Philanthropy Strategy and Corporate Volunteering Strategy.
- Agree an extension to the Joint Philanthropy Strategy of one year;
- Approve the approach and timeline for shaping recommendations for the future direction of the Joint Philanthropy Strategy proposed in paragraph 7; and,
- Agree that the term of the current Corporate Volunteering Strategy be extended by one year until 31st March 2024, allowing the future direction of volunteering work to be considered alongside that of the proposed Joint Philanthropy Strategy review.

8. **PROPOSALS FOR THE IMPLEMENTATION OF DESTINATION CITY**

The Committee considered a report of the Director of Innovation and Growth setting out progress that has been made since establishing Destination City and outlining the proposed direction of travel for future activity.

A Member, also Chairman of Planning and Transportation Committee, offered his congratulations on the success of the Golden Key event, but raised his concern with the Local Plan that was currently being drafted and the need to include Destination City within this. There were areas that needed clarification for external inspectors to approve the City Corporation's Local Plan and the Destination City Team were urged to engage with the Local Plan Team so that relevant information could be put forward to the inspectorate as part of its consideration of the plan.

There was agreement that collaboration would be critical to the success of Destination City. Destination City should be about cultural elements across the whole City and there was a need to bring as many people to the table as possible. This should include highlighting external events, engaging with the Livery and Churches, linking up to existing tourist sites around the City and ensuring events were being communicated effectively.

A Member expressed her disappointment at the lack of a fireworks display on the evening of the Lord Mayor's show, with this having been a fantastic opportunity to encourage people to stay in the City and take advantage of all it has to offer. A Member responded remarking on the fantastic success of the Lord Mayor's Show this year; a flagship Destination City event tagged on to the Lord Mayor's show would be a welcome addition to enhance the experience of visitors and support community linkages.

A Member, also Chair of Community and Children's Services Committee, referred to a lack of communication regarding the Destination City Golden Key event, with City businesses indicating they were not aware of the events and would have bettered prepared and stayed open for it had they known it was

happening; communication in advance would be a crucial element moving forward.

The Member added how there was an opportunity to make the City truly inclusive and attractive for all, with this being an important consideration as part of Destination City.

Reference was made to the existing Customer Relationship Management system being managed under the remit of Innovation and Growth and it was questioned why a separate system would be needed to Destination City. The Customer Relationship System should be an asset available to the whole organisation and the Member asked the Director of Innovation and Growth to give thought to this and operation of only one system.

A Member remarked on the City's primary purpose being a focus on business, with this needing reflecting in any resolutions. In response, it was confirmed that a huge amount of engagement had already taken place with the Chairs of the Business Improvement Districts, with all of them keen to become involved in Destination City and this addressing the balance in this regard.

The Chairman concluded the discussion, stressing that Destination City was all about supporting businesses in the City.

RESOLVED: That Members: -

- Approve the key strategic priorities as highlighted in the Implementation Plan;
- Approve the 3-Point Business Plan, for Destination City to elevate the Welcome, Wayfinding and Wow Factor experience across the Square Mile.

9. **POLICY INITIATIVES FUND AND COMMITTEE CONTINGENCY**

The Committee received a report of the Chamberlain providing a schedule of projects and activities which have received funding from the Policy Initiatives Fund (PIF), the Policy and Resources Committee's Contingency Fund, Committee's Project Reserve and COVID19 Contingency Fund for 2022/23 and future years with details of expenditure in 2022/23.

RESOLVED: That Members: -

- Note the report and contents of the schedules.

10. **DECISIONS TAKEN UNDER DELEGATED AUTHORITY OR URGENCY POWERS**

The Committee received a report of the Town Clerk advising Members of non-public action taken in consultation with the Chairman and Deputy Chairman, in accordance with Standing Order Nos. 41(a) and 41(b) since the last meeting.

RECEIVED

11. **QUESTIONS ON MATTERS RELATING TO THE WORK OF THE COMMITTEE**

High Level Financial Impact Summary - A Member, also Chairman of Finance Committee, referred to the Capital Programme, additional funding approved for the Salisbury Square Development and approval of the Markets Co-Location Programme impacting on the City Corporation's finances.

The Member added how any movement in these major projects could potentially impact on the City Corporation's investment approach when looking at what can be done in other areas over the next 15 years. The Member suggested that Policy and Resources Committee and Finance Committee would benefit from receiving a regular high-level summary from the Chamberlain and City Surveyor providing a level of detail to allow oversight and review.

During a brief discussion that followed, it was noted that Resource Allocation Sub-Committee provided oversight, but that Policy and Resources Committee would have the right to a level of oversight and review whilst not going into the detail. It was suggested that a board level report would be appropriate in providing a level of detail for oversight and review, which Members were supportive of.

A Member, also Chairman of Property Investment Board, referred to the level of sales under his Board's remit and confirmed that he would support a board level summary providing relevant headline information.

The Chairman concluded the discussion confirming now was not the time to debate the issue and agree a policy. The Chairman asked the Town Clerk to take the question away and come back with a proposed way forward.

Homelessness and Rough Sleeping Sub-Committee - A Member referred to funding that had previously been granted for a hostel and an assistance centre supporting homeless people. A hostel had opened this week and was proving to be an excellent facility and a positive project providing support for up to 26 people. An assistance centre would be opening next year and the Member wanted to take the opportunity to highlight the positive work of the City Corporation in these two areas. The Member added how she looked forward to welcoming Members to the assistance centre when it opened next year.

12. **ANY OTHER BUSINESS THAT THE CHAIRMAN CONSIDERS URGENT**

There were no additional items of business.

13. **EXCLUSION OF THE PUBLIC**

RESOLVED: That under Section 100(A) of the Local Government Act 1972, the public be excluded from the meeting for the following items on the grounds that they involve the likely disclosure of exempt information as defined in Part I of the Schedule 12A of the Local Government Act.

Part 2 – Non-Public Agenda

14. NON-PUBLIC MINUTES

- a) The non-public minutes of the Policy and Resources Committee meeting on 20th October 2022 were approved.
- b) The non-public minutes of the Resource Allocation Sub-Committee meeting on 4 October 2022 were noted.
- c) The non-public minutes of Resources Allocation Sub-Committee meeting on 20 October 2022 were noted.

15. QUESTIONS ON MATTERS RELATING TO THE WORK OF THE COMMITTEE

A Member asked a question relating to the Museum of London Relocation Project.

16. ANY OTHER BUSINESS THAT THE CHAIRMAN CONSIDERS URGENT AND WHICH THE COMMITTEE AGREE SHOULD BE CONSIDERED WHILST THE PUBLIC ARE EXCLUDED.

There were no additional items of business.

Part 3 - Confidential Agenda

17. MINUTES

- a) The confidential minutes of the Policy and Resources Committee meeting on 20th October 2022 were approved.
- b) The confidential minutes of the reconvened Policy and Resources Committee meeting on 3 November 2022 were approved.

18. CITY REMEMBRANCER

The Committee considered a confidential report relating to the City Remembrancer.

The meeting ended at 4.29pm

Chairman

Contact Officer: Polly Dunn
polly.dunn@cityoflondon.gov.uk

Agenda Item 5

Committee(s)	Dated:
Policy & Resources Committee	15 th December 2022
Subject: Application for designation of Simpson's Tavern as an Asset of Community Value	Public
Which outcomes in the City Corporation's Corporate Plan does this proposal aim to impact directly?	4, 10, 12
Does this proposal require extra revenue and/or capital spending?	N
If so, how much?	N/A
What is the source of Funding?	N/A
Has this Funding Source been agreed with the Chamberlain's Department?	N/A
Report of: Juliemma McLoughlin, Executive Director, Environment Department	For Decision
Report author: Jessica Robinson, Environment Department	

Summary

The City Corporation has received a nomination from the Simpsons Tavern Preservation Society, an unincorporated body to designate Simpson's Tavern, Ball Court, 38½ Cornhill, London, EC3V 9DR as an Asset of Community Value (ACV).

National regulations, (the Assets of Community Value (England) Regulations), ("the Regulations") were published in 2012 and non-statutory guidance issued by the Government in the same year. In 2016, the Policy & Resources Committee adopted guidelines for the assessment of ACV nominations, including specific guidance for public houses. The information supplied by the applicant has been assessed against these regulations, the national guidance and the Corporation guidelines.

The nominator has provided information on the historic use of this site which has seen use as a Chophouse (eating and drinking establishment) since 1757 servicing generations of customers from the local community, workforce, and visitors, contributing to the social value.

Regulations require that an ACV nomination should be approved by the local authority if the nomination meets specific criteria. The determination of whether Simpson's Tavern should be designated as an Asset of Community Value has been considered on the basis of the evidence submitted by the applicant and the assessment set out in the appendix to this report. The submitted evidence meets the national criteria and the City Corporation's guidelines for designation of an ACV.

Regulations require the local authority to notify the landowner and occupier. At the time of drafting this report, no response to the notification has been made by those notified. 17 letters of support have been received for the nomination. A letter of

support has also been received from the Member of Parliament for Cities of London and Westminster, Nickie Aiken.

Recommendation(s)

Members are recommended to:

- Designate Simpson's Tavern as an Asset of Community Value.

Main Report

Background

1. On 9th November 2022, the City Corporation received a valid nomination from the Simpsons Tavern Preservation Society, an unincorporated body for the designation of Simpson's Tavern as an Asset of Community Value.
2. This is the fourth such nomination received by the City Corporation. Responsibility for the determination of ACV nominations has not been specifically delegated to a committee and therefore rests with the Policy & Resources Committee.
3. Part 5 Chapter 3 of the Localism Act 2011 provides for the designation of certain buildings or land as Assets of Community Value (ACV). The legislation allows local community groups to nominate buildings or land as ACVs and requires local authorities, including the City Corporation, to make ACV designations if, in the opinion of the authority, there is a time in the recent past when an actual use of the building or other land that was not an ancillary use furthered the social wellbeing or interests of the community and it is realistic to think that there is a time in the next 5 years when there could be non-ancillary use of the building or other land that would further (whether or not in the same way as before) the social wellbeing or social interests of the local community. The landowner has a right to request a review of a decision to designate and a right to independent appeal. There is also provision for compensation to be claimed for loss arising out of the designation and the costs incurred in progressing a successful appeal. There is no right of appeal for applicants seeking designation. Once designated, statutory limitations are placed on a landowner's ability to sell the building or land in some situations, with an initial 6-week moratorium taking effect after the local authority has been informed of a proposed sale. During this period a community interest group can indicate a desire to be treated as a potential bidder in relation to the land. If such a request is received, a 6 month moratorium period comes into effect, during which the landowner cannot agree a sale. This is to enable the local community to put together a bid to purchase, although there is no requirement on the landowner to sell to the local community at the end of the moratorium period.

4. The application is available on the City Corporation's website, along with information supplied by the nominator at <https://www.cityoflondon.gov.uk/assets/Services-Environment/st-brides-tavern-acv-nomination.pdf>

5. The City Corporation is required to determine this application within a period of 8 weeks from the date of receipt.

6. At its meeting on 15 December 2016, the Policy & Resources Committee approved guidelines for determining nominations for ACVs, applying Regulation to the specific circumstances of the City of London. These guidelines can be viewed here <https://www.cityoflondon.gov.uk/assets/Services-Environment/planning-localism-neighbour-assets-guidelines-2016.pdf>

Current Position

7. This report deals with the nomination for Simpson's Tavern. Appendix 1 sets out an assessment of the nomination against each of the criteria established in the City Corporation's ACV guidelines. The assessment is in 2 sections, the first section deals with the statutory requirements for a valid nomination and the potential for future use of the land or building. The second section deals with evidence that the public house use furthers the social wellbeing or social interests of the local community. For the statutory requirements under Section 1, a nomination will need to meet all the requirements to be considered a valid nomination. For the evidence assessment under Section 2, a more flexible approach is taken, with criteria assessed as strong evidence, some evidence, no evidence and uncertain. The overall contribution made to social wellbeing and social interest should be assessed taking all criteria and other local knowledge into account.

8. In terms of Section 1: Validation, the application has been submitted by the Simpsons Tavern Preservation Society, a qualifying unincorporated body. The unincorporated body has a membership of 24 local members which includes elected members and individuals on the Ward Lists. This group meets the regulatory requirements as an eligible community body, with a local connection, to submit nominations for an ACV under the Regulations. Simpson's Tavern contains a public bar as well as a restaurant, laid out in traditional oak stalls that are shared by patrons. This mix of uses means that it is likely that Simpson's Tavern is sui generis, having a mixed use as a public house and restaurant. Its use does not fall within any of the exempt land uses set out in the Regulations. The application is therefore valid.

9. Simpson's Tavern was in active use until it's forced closure on the 16th October 2022. The supporting information to the nomination details that rent arrears, as a result of the Covid-19 Pandemic closures, has been required to be paid in full and as a result the current occupant has been

forced to close, albeit post pandemic rents have been paid. The freehold of the premises has been placed for sale, although officers have been unable to find any further information on this other than that supplied within the nomination submission documents. The property is Grade II listed and is sui generis in use, therefore planning permission and/or listed building consent would be required for any change of use or physical alterations to the building. No planning application for this site has been submitted at this time. For this reason, it is realistic to think that there can continue to be non-ancillary use of the building which will further (whether or not in the same way) the social well-being or social interests of the community.

10. Section 2 of the assessment relates to whether Simpson's Tavern furthers the social wellbeing and social interest of the local community. Appendix 1 details that spaces are available for functions and booked out for events. The supporting nomination information details that the Tavern is well used for events such as hosting historical societies including the Georgian Dining Academy and the Pickwick Society. It is also used for group and networking events along with annual events such as a Carols Concert.

11. The nominating body has put forward an account of the social history of the pub, which includes the use of the site as London's 'oldest chophouse' which has served the local community, workers and visitors since 1757. The evidence available suggests that the existing Tavern has been in its current form and location since early C18. The building is grade II listed and the listing description states that it is interesting as an example of a City Tavern.

12. The nomination describes that Simpson's Tavern serves local workers, residents, and visitors. Whilst there is not a dedicated social club, the Tavern lies within a large catchment of City workers and has a rich history of serving workers and residents alike. Residents and City workers are recognised as City communities in the City Corporation's Statement of Community Involvement, which supports the Corporation's planning functions.

13. No responses to notification letters sent out have been received in regard to the proposed ACV designation.

14. 16 letters of support have been submitted in relation to the nomination. A letter of support has also been received from the Member of Parliament for Cities of London and Westminster, Nickie Aiken.

Procedural Next Steps

15. The ACV nomination for Simpson's Tavern is therefore considered to meet the requirements under the Localism Act 2011, the Regulations and City guidelines as a valid nomination and one that furthers the social wellbeing and social interests of the City. In line with regulations and

legislation, Simpson's Tavern should be designated as an Asset of Community Value.

16. If the nomination is refused, there is no right of appeal for the applicant. There is, however, no restriction on the number of nominations relating to the same site that can be made for ACV status. Each would need to be considered on its merits.

17. If the nomination is approved and the ACV designated, the landowner has a right of appeal. In the first instance the appeal is to a senior officer within the City Corporation who has not been involved in the determination of the initial application (this would be through the Town Clerk or other nominated senior officer). If this appeal fails, there is provision for a second independent appeal to the First Tier Tribunal.

Corporate & Strategic Implications

18. The consideration of Simpson's Tavern public house as a possible Asset of Community Value accords with the Corporate Plan (2018-2023), which aims to provide modern, efficient and high-quality local services for workers, residents and visitors, and to provide valued services, such as education, employment, culture and leisure, to London and the nation.

Financial implications

19. The Localism Act 2011 and the Regulations make provision for the possible payment of compensation by the local authority to the landowner of such amount as the local authority may determine for any incurred loss or expense in relation to the land which would be likely not to have been incurred if the land had not been listed as an ACV. Specific reference is made in the Regulations to compensation arising from a delay in entering into an agreement to sell (due to the moratorium) and for reasonable legal expenses incurred in a successful appeal to the First-Tier Tribunal, but the Regulations also permits any other claim in respect of loss or expense.

Resource implications

20. There are no resource implications arising from this report.

Legal implications

21. There is an Exempt Appendix to this report which provides legal advice and is not for publication. There are no direct legal implications arising from this report but the building owner has the right of appeal firstly to the City Corporation and secondly to the First-Tier Tribunal which will require additional legal advice, including potentially counsel's advice and support.

Risk implications

22. Although the designation would be a material consideration in the determination of any future planning application, any such application would need to be determined on the basis of its individual merits and in accordance with the Development Plan and any other material considerations. Designation as an ACV would not fetter the Planning & Transportation Committee's consideration of the wider merits or otherwise of a planning application.

Equalities implications

23. In recommending the designation of Simpson's Tavern as an Asset of Community Value, due regard has been given (in accordance with the public sector equality duty) to the need to:

- A) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Equality Act 2010;
- B) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and
- C) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

24. The designation of Simpson's Tavern as an Asset of Community Value is not considered to have any specific implications related to the public sector equality duty.

Climate implications

25. There are no direct climate implications.

Security implications

26. There are no direct security implications.

Conclusion

27. Representatives of the local community have nominated Simpson's Tavern, Ball Court as an Asset of Community Value.

28. An assessment of the nomination has been undertaken which has concluded that the nomination meets the requirements in national regulation for a valid nomination. This evidence has also demonstrated that Simpson's Tavern is land of community value in that:

- there is a time in the recent past when an actual use of the building that was not an ancillary use furthered the social wellbeing or interests of the local community; and
- it is realistic to think that there is a time in the next five years when there could be a non-ancillary use of the building or other land that would further (whether or not in the same way as before) the social wellbeing or social interests of the local community.

29. No objection to the designation of Simpson's Tavern as an ACV has been received at the date of drafting of this report, although 17 letters of support has been submitted. A letter of support has also been received from the Member of Parliament for Cities of London and Westminster, Nickie Aiken.

30. The ACV nomination for Simpson's Tavern is therefore considered to meet the requirements under the Localism Act 2011, the Regulations and City guidelines for designation as an Asset of Community Value.

Appendices

- Appendix 1 – Assessment of the application for ACV status for Simpson's Tavern.
- Appendix 2 – Supporting documents and representations
- Appendix 3 – Legal Implications NOT FOR PUBLICATION

The application for ACV status and related representations can be viewed at:
<https://www.cityoflondon.gov.uk/services/planning/planning-policy/localism-and-neighbourhood-planning>

The City of London's guidance on ACV nominations can be viewed at:
<https://www.cityoflondon.gov.uk/assets/Services-Environment/planning-localism-neighbour-assets-guidelines-2016.pdf>

Jessica Robinson

Principal Planning Officer, Environment Department

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**Simpson’s Tavern Appendix 1
ACV Assessment Matrix
Assessment Against City Corporation ACV Guidelines**

Section 1: Validation of Nomination	Comment	Conclusion
<i>A) Information Requirements</i>		
Description of the nominated land or building	The nomination provides a description of Simpson’s Tavern and the Land Registry Title and Location Plan. For the avoidance of doubt the nomination relates only to Simpson’s Tavern and any parts of the building that are not functionally linked to the tavern will not be included in the listing. Simpson’s Tavern is considered to occupy the sub-basement, basement, ground, first and second floor premises.	Valid nomination
Information about freeholders, leaseholders and occupiers	A copy of the land registry title has been submitted with the nomination. At the time the nomination was submitted both a freehold and one leasehold interest were registered in respect of the site. Notice of the ACV nomination was served on the freehold owner and the leasehold interest.	
Reasons for nomination	The nomination provides details that Simpson’s Tavern has been forced to close by the freehold owner due to rent arrears built up during the Covid-19 pandemic. The freehold owner has put the premises up for sale at this current time according to the submission documents. A pub has been present on this site since 1757 and has played a key role in the life and function of this part of the City. The Tavern is considered by the nomination body to be the oldest Chophouse in London servicing generations of customers from the local community, workforce, and visitors.	Valid nomination
Nominator’s eligibility	Nomination is by a not for profit unincorporated body with at least 21 local members.	Valid nomination

<i>B) Status of the Nominator/Applicant</i>		
Does the nominator meet the definition of a community body?	Yes the nominator is considered to meet the definition of a community body. The nomination provides details of 10 Elected Ward Members within the City of London, 12 local persons registered to vote in the Cornhill Ward and 35 other members with a local interest, but who have not been verified as being on Ward Lists, who have formed a not-for-profit unincorporated body called the Simpsons Tavern Preservation Society.	Valid nomination
<i>C) Does the Nominator/Applicant have a local connection?</i>		
Are the nominator's activities wholly or partly concerned with the City of London or neighbouring boroughs?	The nominator is an unincorporated body made up of 22 members of the community, including Ward Members, with a direct connection to the City of London. The Memorandum of Understanding provided makes it clear that the unincorporated body has been set up for the purpose of submitting the ACV nomination and to assist with crowdfunding to save the Tavern. This demonstrates that the nominator's activities wholly concern the City of London.	Valid nomination
Is any surplus generated wholly or partly applied for the benefit of the City of London or neighbouring boroughs?	The constitution of the society confirms that the body does not distribute any surplus it makes to its members and that any surplus it does make is wholly for the benefit of the local authority's area.	Valid nomination
Does the nominator have at least 21 local members who are registered for elections in the City of London?	The nomination provides details of a not-for-profit unincorporated body of at least 21 local members registered on the latest Ward Lists. Under the Regulations an unincorporated body must have at least 21 'local members'.	Valid nomination
<i>D) Does the land or building meet the requirement for nomination?</i>		
Is it located in the City of London?	Simpson's Tavern is located at Ball Court, 38½ Cornhill, London, EC3V 9DR which is within the City of London.	Valid nomination
Is the building exempted from designation?	Simpson's Tavern, until the 16 th October 2022, was open and trading as a Chophouse, which is described a	Valid nomination

	drinking and eating establishment. It does not fall within the categories of exempted land uses in the Regulations (residential, a residential caravan park or on operational land for statutory undertakers).	
<i>E) Is the nominated use the primary use of the land or building?</i>		
Primary use of the land or building	The available information indicates that the primary use of the Simpson's Tavern was as a public house and restaurant and this part of the building was leased as such.	Valid nomination
<i>F) Is there evidence of continued/future use?</i>		
Is it realistic to think that the current use could continue or there could be a use which furthers social wellbeing or social interest in the next 5 years?	<p>Simpson's Tavern contains a public bar as well as a restaurant, laid out in traditional oak stalls that are shared by patrons. This mix of uses means that it is likely that Simpson's Tavern is sui generis, having a mixed use as a public house and restaurant. This will remain the case until a change of use, which is authorised by the City Corporation, were to come forward through the redevelopment of the site or otherwise. Given the building's Grade II listed status there would also be a requirement for Listed Building Consent if any physical alterations were carried out.</p> <p>Simpson's Tavern was in use until its forced closure on the 16th October 2022. The supporting information to the nomination details that rent arrears, as a result of the Covid-19 Pandemic closures, has been required to be paid in full and as a result the current occupant has been forced to close, albeit post pandemic rents have been paid. The freehold of the premises has been placed for sale, although officers have been unable to find any further information on this other than that supplied within the nomination submission documents.</p> <p>If the Tavern were to be sold it is likely a use of this kind would continue to operate.</p>	Valid nomination

	<p>If a different use were to be considered there would need to be a change of use application submitted to the City for consideration and Listed Building Consent required for any physical alterations. At this time no application or listed building consent has been applied for and no related applications are under consideration at this time.</p> <p>It is realistic to think that there can continue to be non-ancillary use of the building which will further (whether or not in the same way) the social wellbeing or social interests of the community.</p>	
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Section 2: Evidence that would help show the use furthers social wellbeing or social interest	Comment	Conclusion
<p>Does the nomination define a local community?</p>	<p>The nomination outlines that Simpson's Tavern is used by workers, residents, and visitors.</p> <p>Residents, resident associations, business groups, individual businesses and workers are included with the communities that the City Corporation will consult in relation to planning matters as set out in the City Corporation's Statement of Community Involvement. Simpson's Tavern is in an area that has a large catchment of City workers.</p> <p>Note: There is no requirement in the legislation for a nomination to define a local community but one of the tests in s88(1) of the Localism Act is whether there is an actual current use of the building or other land that is not an ancillary use that furthers the social wellbeing or social interests of the local community. In the case of <i>4C Hotels (2) Limited v City of London</i> CR/2017/0011 the Judge agreed with the City Corporation that there did not need to be a residential link between regular users and local residents when there is a small full-time residential population. It was accepted that local community should be</p>	<p>Strong evidence</p>

	<p>interpreted as a body of people viewed collectively and that it was not appropriate to interpret this as meaning a group of people living in the same locality when applying the ACV regime in the circumstances applicable in the City of London.</p>	
<p>1) Evidence from local residents, other individuals or groups who used the public house that it furthered social wellbeing and social interest, e.g. letters, emails, social media, petitions</p> <p>(i.e is there evidence that there was a time in the recent past when an actual use of the building or other land that was not an ancillary use furthered the social wellbeing or interests of the local community)</p>	<p>‘Social Wellbeing’ is not defined by the Act but as set out in the City Corporations Guidelines for determining ACV nominations, is generally taken to mean a condition where there is a positive sense of involvement in or contribution to quality of life or welfare. ‘Social Interest’ is defined to include cultural, recreational or sporting interests.</p> <p>Simpsons Tavern is Grade II listed and the details of the listing refer to it as being ‘interesting as an example of a city tavern’. . Heritage assets are considered an irreplaceable resource and that they should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their wider social and cultural benefits and the contribution to the quality of life of existing and future generations. This is important in this instance because part of the interest of the listed building lies in its interest as an example of a city tavern.</p> <p>In addition to references to Simpsons being a place for business people on lunches and to the sense of history offered by Simpsons Tavern, online reviews and the crowdfunding page refer to the tavern in the following terms:</p> <ul style="list-style-type: none"> • Quintessential British pub • Best traditional type place • A truly City experience • A City institution • The timelessness of the place • A great reminder of City lunches in the past <p>These comments support the uniqueness of this Grade II listed tavern and its link with history.</p>	<p>Strong evidence</p>

	<p>A crowdfunding page has been set up to raise funds for the payment of rent arrears which, at the time of drafting this report, has 2,605 supporters.</p> <p>The recent closure of the Tavern and nomination as an ACV has been reported widely in the press, including the BBC, Guardian and City AM, along with others.</p> <p>Emails have been received by the City of London Corporation in support of this ACV application, including a supportive letter from the Member of Parliament for Cities of London and Westminster, Nickie Aiken.</p> <p>The nominating body had put forwards an account of the social history of the pub, which includes information relating to the premises representing the oldest Chophouse in London, a space that has stood since 1757 when the site was gifted to Thomas Simpson by his father, servicing generations of customers from the local community, workforce, and visitors. The nomination states that it has formed part of the fabric of the city and its DNA. Simpsons Tavern trades with no significant difference to the way it was founded in 1757. The public bar and barrels in the courtyard are an open access facility. The dining rooms on the ground and first floor maintain the original booths, which are shared by diners. To promote networking and convivial atmosphere groups are sat together and sharing is encouraged, as it historically had been.</p> <p>Simpson's Tavern appears to have long standing recognition as a space for social interest (cultural and recreational interest) and clearly contributes to a sense of place furthering the social wellbeing and social interests of the local community. On this basis it is considered that the Simpsons Tavern is land of community value.</p>	
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2) Evidence from local Members and other community leaders that the public house and restaurant furthered social wellbeing and social interest in the recent past	The nomination has been submitted by an unincorporated body of more than 21 local members on the Ward List, including 11 elected City Corporation Members and other pertinent members of the community.	Strong evidence
3) Evidence of awards, recognitions and recommendations earned by the public house/restaurant	<p>There is no submitted evidence of any awards or recommendations.</p> <p>There is evidence on Simpson's Tavern's website that they received a Travellers' Choice award* from Trip Advisor in 2022.</p> <p>*Tripadvisor gives a Travellers' Choice award to accommodations, attractions and restaurants that consistently earn great reviews from travellers and are ranked within the top 10% of properties on Tripadvisor.</p>	Limited evidence
4) Evidence of long term use as a public house/restaurant contributing to sense of place for the local community	Simpson's Tavern has been trading in this location since 1757 as a 'Chophouse' considered to be a drinking and eating establishment as a place for the communities of the City to gather, network, and socialise, contributing to a sense of place for the local community.	Strong evidence
5) Other social or cultural association with local area	In 1723 Thomas Simpson opened his first Fish Ordinary Restaurant in Bell Alley, Billingsgate. His clientele was mainly those who worked in the fish market who bought him fish which he would prepare specially. After the demolition of Bell Alley he resumed work purchasing the Queen's Arms, Bird in Hand Court, Cheapside. Thomas Simpson founded the present site of Simpson's in 1757 which was a gift to him from his father. It has been a space for people to gather, network and socialise for generations.	Strong evidence
6) Evidence that the public house/restaurant is well used as a venue for local sports and games competitions, e.g. pool, snooker, darts, dominoes, cards	<p>The Tavern does not have a social club given its city pub/restaurant nature and constrained nature.</p> <p>This Tavern does not host local sports or games competitions due to its size, nature and location as a city pub and restaurant.</p> <p>However, the Tavern does host an annual Stewed Cheese Challenge. This is</p>	Little evidence

	considered an annual tradition whereby the person who consumes the most Stewed Cheese in one sitting wins a trophy and prize.	
7) Fielding a representative 'pub team' in local sports or games leagues or other competitions, e.g. football, darts	The pub does not have any representative pub teams as there are no social clubs.	No evidence
8) Evidence that the public house/restaurant was well used as a regular meeting venue for local clubs, societies, hobby groups, work-based groups and other special interest groups.	<p>The pub lies within an area that has a large catchment of City workers.</p> <p>The letters and emails provide as part of the nomination detail how the Tavern is used as a meeting venue for work-based groups, societies, and other special interest groups.</p> <p>The supporting nomination information details that the Tavern is well used for events such as hosting historical societies including the Georgian Dining Academy and the Pickwick Society. It is also used for group and networking events along with annual events such as a Carols Concert.</p> <p>The Nomination also states that spaces can be booked out for functions and work events.</p>	Strong evidence
9) Staging frequent events which meet the needs of local customers, e.g. quiz nights, karaoke, parties, etc.	Simpson's Tavern hosts annual events such as a Carol Concert and the Stewed Cheese Challenge. It also allows for functions to occur by way of booking out spaces in the Tavern.	some evidence
10) Evidence that the public house/restaurant is used as a venue for local community events and services, e.g. Community Toilet Scheme membership, party bookings, family occasions, room for hire, catering available.	Spaces within the Tavern can be booked out by groups, but it is unclear if there is availability for specific community events or services.	Little evidence



Statement of Community Value

Simpsons Tavern is a Living piece of the City of London's History and by licence, London's Oldest Chophouse. As a licensed hospitality venue serving food and drinks to the public, we are a community entity that encourages egalitarian access to work and socialise

Simpsons Tavern has stood in an Alley from Cornhill since 1757, servicing generations of customers from the local community, workforce, and visitors. It has formed part of the fabric of the city and its DNA

Open network and debate is how markets formed, but It is no joke to say the City of London was formed at Lunch. It is a statement of fact. The Coffee house and Chophouse historically brought in the early Gentlemen for Lunch and in turn as they met, ate, and networked the infrastructure of markets grew around them. Runners, then later Telex and communications were brought to the houses and networks and syndicates were born in the social space of the time, Coffee Houses and Chop Houses. It is vital to the City of London and its communities that we do not forget this origin, and Simpsons Tavern is intrinsically important in maintaining that.

Simpsons Tavern trades with no significant difference to the way it was founded in 1757. The public bar and barrels in the courtyard are an open access facility. The dining rooms on the ground and first floor maintain the original booths, which are shared by diners. To promote networking and convivial atmosphere groups are sat together and sharing is encouraged, as it historically had been.

This unique adherence to its history and its maintenance makes Simpsons Tavern host to a variety of historical societies including the Georgian Dining Academy, The Pickwick Society and the Lloyd's Insurance Rugby Club. Further groups and networking events are facilitated annually, including our Carols Concert. Without Simpsons, these groups would be displaced with no equivalent to substitute, as we remain unique to the City and its identity



About Simpson's Tavern

Not to be confused with Simpson's in the Strand, Simpson's Tavern is known affectionately as 'the oldest chophouse in London'. Its traditional British fare dates back to 1757, challenging Rules' claim to the capital's oldest restaurant mantle. Situated in a Dickensian courtyard, accessed via a narrow alleyway, Simpson's Tavern is one of London's most charming, historic eateries.

History of Simpson's Tavern

Thomas Simpson had been a restaurateur for 34 years when, in 1757, his father gifted him a site down a central London alley. There, Simpson's Tavern has proudly remained for over 260 years, with its signature catchphrase 'Do you want a sausage with that?' still being repeated daily.

Now based in London's financial district, Simpson's Tavern was originally at the heart of the capital's food trading area at Cornhill – then literally a hill where corn was sold. Similarly, nearby Bread Street, Poultry, Honey Lane, and Milk Street reveal aspects of London's commercial history.

Simpson's Tavern is connected through labyrinthine alleys to other iconic establishments. London's first coffeeshop, The Jamaica Wine House, stands opposite while a short walk takes you to The George and Vulture, a famed chophouse referenced in Charles Dickens' *The Pickwick Papers*.

Many consider Simpson's Tavern to be the "usual melancholy tavern" Ebenezer Scrooge visits in *A Christmas Carol*. Dickens spent many an hour in the taverns of Cornhill: the streets, the people inspired the author, Dickens in turn bestowed their legacy. Other eminent former patrons include author William Thackeray and diarist [Samuel Pepys](#).

Simpson's Tavern today

Having survived the Victorian era street-widening policies, Simpson's Tavern and its surrounding courtyard remain relatively untouched, at least structurally. If you're hoping to catch a glimpse of Dickens' immortalised London of cobbled streets and quaint windowfronts, this is the place for you. Inside, dark wooden panels still adorn the walls, House of Commons green benches still stretch from connect tables inviting conversation, brass hat stands still punctuate the booths where diners continue to enjoy their hearty, boozy respite from city life.

Fodors Review

The City's oldest tavern and chop house was founded in 1757 and undoubtedly is every bit as raucous now as the day it opened. Approached via a cobbled alleyway, it draws diners who revel in the old boarding school surroundings and are eager to down oodles of claret and English tavern-style grub. Think full English breakfasts, grilled chump chops, potted shrimps, steak-and-kidney pie, and hot pots of the famous house-stewed cheese on toast. Desserts are public schoolboy favorites like spotted dick and custard. Shared oak bench stalls, House of Commons green cushions, and old-fashioned service all add to the charm.



Constitution of The Simpson's Tavern Preservation Society (The Society)

1. Statement of Aims and Objectives

The Society exists to preserve the Grade II listed Simpson's Tavern, Ball Court, 38½ Cornhill, London, EC3V 9DR as a community asset, open to the public as a licensed public house/restaurant and trading as Simpson's Tavern. Further the Society intends to support an application for Simpson's Tavern as an 'Asset of Community Value' and to support the maintenance of the site as a listed building.

2. Membership and Constitution

- a) The Society shall be an unincorporated membership association
- b) The membership of the Society shall be open to all individuals that support its aims and objectives.
- c) The members shall elect an Executive Committee of a minimum of 4 members and a maximum of 7 members. Members of the Executive Committee must fulfil one of the following criteria:
 - * A resident of the City of London (any ward)
 - * A worker in the City of London and eligible to vote in City of London elections (on any Ward List)
 - * An elected representative in the City of London (CC or Alderman)
- d) The Executive Committee shall include
 - The Chair
 - The Vice Chair
 - The Secretary
 - The Treasurer
- d) The Executive Committee may establish a membership fee. The fee for founder members of the Society shall be zero.

e) The Executive Committee may appoint an honorary President who shall be a nonvoting member of the Committee

3. Meetings

a) The Executive Committee shall meet either in person or online a minimum of 4 times a year.

b) Unless otherwise stated all decisions by the Executive Committee shall be by majority vote. In the event of a tied vote The Chair may exercise a casting vote

c) The quorum for the Executive Committee shall be at least 50% of voting members to include either the Chair or Vice Chair

d) An Annual General Meeting (AGM) shall take place of all members. A minimum of two weeks' notice shall be served to all members. The meeting may take place in person or online. Each member of the Executive Committee shall report in writing to the AGM. The quorum for an AGM shall be a minimum of 10 members.

e) The Executive Committee may call an Extraordinary General Meeting (EGM) of all members serving a minimum of two weeks' notice to all members

f) The AGM shall elect the Executive Committee and the Honorary President by the Alternative Vote method

4. Finances

a) The Executive Committee may open a bank account in the name of the Society. A minimum of 3 members of the Executive Committee shall be registered as signatories with a minimum of 2 signatories required for any payment instruction.

b) The Society may establish a fund for the purposes of the support and potential purchase of Simpson's Tavern.

c) All funds at the disposal of the Society shall be exclusively for the furtherance of the stated aims in paragraph 1 of this Constitution.

d) Any funds surplus to the requirements of the society's stated aims shall not be distributed to its membership but should be wholly for the benefit of the City of London

5. Amendments to this constitution shall only be made by a 2/3 (two thirds) majority vote at an EGM or AGM. No amendment shall be permitted to clause 1.

Founding Officers and Members

Simpson's Tavern Preservation Society

Officers

Chair - Philp Palumbo, The Walbrook Club, [REDACTED]

Vice Chair - Alderman Robert Howard

Secretary - Deputy Peter Dunphy

Treasurer – to be appointed

Members – elected members

Joanna Abeyie CC

Mandeep Thandi CC

Henrika Priest CC (also resident)

Mark Wheatley CC

Charles Edward Lord CC (also resident)

James Bromiley-Davis CC

Timothy Butcher CC

Deputy James Thomson

Nick Bensted-Smith CC

James Tumbridge CC

Irem Yerdelen CC

Brendan Barns CC

Dominic Christian CC

Members – verified Ward List

Elaine Mason, [REDACTED] (Resident, Cornhill)

Charles Williams Facet Underwriting [REDACTED] (Cornhill)

Chris Aylard [REDACTED] (Resident, Tower)

Shane MacDonald, Whyte & Case [REDACTED] (Cornhill)

Chris Sanders, Northcross Capital LLP, [REDACTED] (Bassishaw)

Steven Richmond, Berenberg, [REDACTED] (Walbrook)

Ed Jeffery, Aon [REDACTED] (Lime Street)

John Gill, UK Finance - [REDACTED] (Broad Street)

Richard Nemeth, Tysers [REDACTED] (Aldgate)

Simon Bright Aon, [REDACTED] (Lime Street)

Phil Hopkins, Stifel, [REDACTED] (Cheap Ward)

Other members unable to verify if on Ward Lists

Jonathan Aubrey-Smith QBE, [REDACTED]

Matthew Wescott, JMW Solicitors, Kings House, [REDACTED]

Elizabeth Bailey, Trans Re, Corn Exchange [REDACTED]

Neil Wells, Aura Consulting, [REDACTED]

James Bullock-Webster New Dawn Risk Group, [REDACTED]

Benjamin Browning Blackwell Private Wealth Blackwell House [REDACTED]

Chris Kenning, Stubben Edge Group, [REDACTED] (Cornhill, new registration)

Andrew Furr, Chesterfield Insurance Brokers [REDACTED]

James Moreton, Arthur J Gallagher [REDACTED]

Bruce Carman, Hive Underwriters, [REDACTED]
Fergus Allen, Morae Global, Hasilwood House, [REDACTED]
Kristofer Tremaine Kimura Capital Minster House [REDACTED]
Maxine Tocco BT Pension Scheme Management Ltd [REDACTED]
David Maddox, RSA, Bishopsgate
Gareth (Ralph) Morrow, Miller Insurance Service, [REDACTED]
Shirley Girling Willis Towers Watson, [REDACTED]
Paul Uprichard, Sompco, [REDACTED]
Mark Brookes, Bank of England/PRA [REDACTED]
Jason Taylor, Bowring Marsh, [REDACTED]
Richard Brown, Sompco, [REDACTED]
Laura Bugden Prime Warden Worshipful Company of Shipwrights
Adrian Byrne, Lancashire Insurance [REDACTED]
Jon Rooley, CEO of Global Aerospace at WTW, [REDACTED]
Richard Garratt, Allied World Assurance Company, [REDACTED]
Michael Brown, Patient Advocate Ltd [REDACTED]
Gavin Coull, Birketts LLP - [REDACTED]
Nigel Vickary, Wilson Smith Group London [REDACTED]
Tom Staley, Arch Insurance [REDACTED]
James Cooper, Astaara Underwriting UK [REDACTED]
Ryen Amirpashaie Tokio Marine HCC [REDACTED]
William Waddell-Dudley IQW, [REDACTED]
Alex Gilmour UBS, [REDACTED]
Matt Whitlock Acrisure New London House, [REDACTED]
Robert Childs, Robert Childs and Company, [REDACTED]
Ben Snelling, Atrium Underwriters, [REDACTED]

Title Number : LN58088

This title is dealt with by HM Land Registry, Wales Office.

The following extract contains information taken from the register of the above title number. A full copy of the register accompanies this document and you should read that in order to be sure that these brief details are complete.

Neither this extract nor the full copy is an 'Official Copy' of the register. An official copy of the register is admissible in evidence in a court to the same extent as the original. A person is entitled to be indemnified by the registrar if he or she suffers loss by reason of a mistake in an official copy.

This extract shows information current on 2 FEB 2022 at 08:24:34 and so does not take account of any application made after that time even if pending in HM Land Registry when this extract was issued.

REGISTER EXTRACT

Title Number	: LN58088
Address of Property	: 5 Castle Court, part of 38 & a Half, Cornhill, London (EC3V 9DR)
Price Stated	: £12,085,035
Registered Owner(s)	: TAVOR HOLDINGS LIMITED (incorporated in Bermuda) care of Silverland Properties Limited, 12/13, Conduit Street, London W1S 2XQ.
Lender(s)	: None

Title number LN58088

This is a copy of the register of the title number set out immediately below, showing the entries in the register on 2 FEB 2022 at 08:24:34. This copy does not take account of any application made after that time even if still pending in HM Land Registry when this copy was issued.

This copy is not an 'Official Copy' of the register. An official copy of the register is admissible in evidence in a court to the same extent as the original. A person is entitled to be indemnified by the registrar if he or she suffers loss by reason of a mistake in an official copy. If you want to obtain an official copy, the HM Land Registry web site explains how to do this.

A: Property Register

This register describes the land and estate comprised in the title.

CITY OF LONDON

- 1 (12.06.1947) The Freehold land shown edged with red on the plan of the above Title filed at the Registry and being 5 Castle Court, part of 38 & a Half, Cornhill, London (EC3V 9DR).

NOTE: As to the part tinted blue on the filed plan only the cellars and vaults are included in the title.

- 2 Award dated 4 October 1976 made between (1) The Union Discount Company of London Limited and (2) Drapers Company relates to party walls and structures.

NOTE: Copy filed.

- 3 (05.10.1992) A Deed dated 17 June 1992 made between (1) SAL Pension Fund Limited (2) The Master and Wardens and Brethren and Sisters of the Guild or Fraternity of the Blessed Mary The Virgin of the Mystery of Drapers of the City of London and (3) Guardian Assurance Plc relates to the re-routing of services and the installation of windows.

NOTE: Copy Deed filed.

B: Proprietorship Register

This register specifies the class of title and identifies the owner. It contains any entries that affect the right of disposal.

Title absolute

- 1 (13.06.2012) PROPRIETOR: TAVOR HOLDINGS LIMITED (incorporated in Bermuda) care of Silverland Properties Limited, 12/13, Conduit Street, London W1S 2XQ.
- 2 (13.06.2012) The price stated to have been paid on 25 May 2012 for the land in this title and in titles 223129, LN165471, NGL464580, NGL414740 and NGL628001 was £12,085,035.
- 3 (13.06.2012) A Transfer of the land in this title and other land dated 25 May 2012 made between (1) Land & Equity Holdings Limited and (2) Tavor Holdings Limited contains purchaser's personal covenants.

NOTE: Copy filed under 223129.

C: Charges Register

This register contains any charges and other matters that affect the land.

- 1 (04.03.1963) The land is subject to such restrictive covenants as may affect the same and are enforceable. The Deeds and documents of title prior to an Order of the Court dated 3 March 1944 having been destroyed by enemy action no particulars of such covenants were produced on first

C: Charges Register continued

registration.

- 2 (24.03.2014) The land is subject to the easements granted by a lease dated 12 March 2014 of second floor 381/2 Cornhill and 4-5 Castle Court for a term of 5 years from and including 28 February 2014

NOTE: Copy filed under NGL414740.

- 3 (31.07.2015) The land is subject to the easements granted by a lease dated 6 October 2014 of Third Floor, 38 1/2 Cornhill and 4-5 Castle Court for a term of 5 years from and including 31 March 2014.

NOTE: Copy filed.

- 4 (23.08.2018) The parts of the land affected thereby are subject to the leases set out in the schedule of leases hereto.
The leases grant and reserve easements as therein mentioned.

Schedule of notices of leases

	Registration date and plan ref.	Property description	Date of lease and term	Lessee's title
1	23.08.2018	Simpson's Tavern, 38 1/2 Cornhill (Sub-basement, basement, ground, first and second floor premises)	10.08.2018 15 years from and including the 25.12.17	AGL452725
		<i>NOTE: The lease also includes other land.</i>		
2	13.03.2019	Second floor offices, 4-5 Castle Court	15.02.2019 5 years from 28 February 2019	
		<i>NOTE: The lease also includes other land.</i>		

End of register

H. M. LAND REGISTRY GENERAL MAP

LONDON SHEET VII.66 SECTION K

GREATER LONDON

Scale $\frac{1}{1056}$

CITY OF LONDON



LN58088

rad
11.47

This is a copy of the title plan on 2 FEB 2022 at 08:24:34. This copy does not take account of any application made after that time even if still pending in HM Land Registry when this copy was issued.

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This title is dealt with by HM Land Registry, Wales Office.



Simpsons Tavern statement on our forced closure

We are heartbroken to announce that Simpsons Tavern, London's oldest Chophouse, has been forced to close through the cynical actions of our landlord and their agents:

Tavor Holdings Ltd (Landlord Incorporated in Bermuda)

<https://offshoreleaks.icij.org/nodes/82019555>

Hartnell Taylor Cook Ltd (Agent)

<https://htc.uk.com/commitment/>

Memery Crystal (Solicitors)

<https://www.memerycrystal.com/> ref LAB /T0494 0006

We remain shocked and dumbfounded by the callous and unnecessary actions they have chosen. Rent has been paid for this quarter to December 2022, bookings taken, and crackers delivered

Their actions are displacing a professional workforce who have been dedicated to the values and traditions of a historic icon at the Heart of the City of London for decades and removed without care or forethought a standard in City life that has stood for Centuries.

We have sat on this site since 1757. We have survived Fires, World Wars, an industrial revolution, a plague (or pandemic as you may call it) and a mini budget for 265 years

The tables elbows rest on, in our booths, are from the underwriting room of Lloyds 2nd room and were soaked in its ink and now the Claret from generations of Brokers, underwriters, and agents, we are woven into the City's DNA

We have been here before the U.S. of A was born

We have been frequented by Charles Dickens and countless others whom to this day have bragging contests to claim who has been coming the longest (it's no longer Dickens)

We are not though, just sentimentalists. We are pragmatic:

If you have been recently, I challenge you to state that the business is failing or insolvent. Indeed, my heart has swelled with pride to see and feel the life of the city return. The booths have been alive again and queues forming in the bars. It is a fallacy to present that Simpsons is unable to go forward, a lie told by the agents to extort unfair rent and service charges for periods we, through no fault of our own, had to close during Lock down. Most Landlords have practically allowed for relief and a reasonable horizon for repayment. We too have presented what we believe to be fair to the Landlord, fully expecting them to respond with either reasonable counter or acceptance. They have not responded except with a demand for the service charge whilst the business was closed and then full repayment of all arrears

We had believed that we were in the middle of meaningful negotiations in good faith. We now believe (and had previously feared on learning their plan to sell the freehold) this action shows that the Landlord had been using this period of negotiation to deceive and run the clock out on the government arbitration process and then cynically seize the property.

They have placed the freehold for sale and rather than sell with a settled successful tenant they see the value of the freehold improved with vacant possession

Good faith has now been lost and although we are desperate to return to work and service the Landlord is now refusing to come to the table

Whilst we are bitterly disappointed by the wronghead approach by the Landlords agents and the divisive actions they are taking, we are seeking to resolve this fairly. Willing to come to the table at any point. We remain on the end of the phone. Its not like I do not have time on my hands currently.

Save Our Simpsons

We are working hard to avoid the permanent closure of Simpsons Tavern, but need you help

<https://www.crowdfunder.co.uk/p/save-our-simpsons-tavern>

We have been faithfully serving up British dining history by the slice, pound or gram since 1757.

For 265 years we have stood, undaunted by fire, flood, world wars, plague (or pandemic – you choose) and even Liz Truss’s premiership. Today though we have been forced into closure by the actions of a cynical landlord. Carelessly removing a city institution that has been a part of its DNA

Our locks have been changed; our lights turned out. The team displaced with stock spoiling in the fridges as the Landlord refuses to engage, seemingly determined to deliberately close the business and remove from the City of London a landmark. A centuries old venue who has placed host to generations of the market

The timing of this could not be worse, this period is critical to our revenues. We have already lost £10,000’s in the weeks waiting for engagement, but also material damage to our reputation and our customers faith in bookings. We are seeing people cancel significant events at Christmas, understandably, but these cancellations will be difficult to replace and further starve revenue from the business

We are reaching out via Crowdfunder in the hope that we can generate revenue to ensure the survival of a standard in City life and support the team being displaced.

Our sector survives on hard work, slim margins, and the generosity of our customers. I would love to say I am writing this from the beach club of my Yacht, but Simpsons Tavern is unable to turn a profit significant enough for us to offer shares or bonds. On a good year, we wash our face, an exceptional year a spritz of aftershave, but the overwhelming majority we return a minimal loss. We cannot take this matter to market for funding as our sector is too high risk for banks

This is what the Landlord is deliberately leveraging. We are solvent and able to pay rent going forward and indeed contribute to the debt formed through Covid

closure. They have decided though not to look at a horizon of payment for debt, but demand all and force a liquidity issue (Given time I can pay debt, given no time I cannot)

We were closed longer than others as the City was slow to return post Covid. Working from home meant our clientele had no need to return to their offices and we spent months trying to trade through on dramatically depleted revenues, knowing or maybe hoping the City would return to life at some point and we would be there to welcome them all back. This debt is now being demanded without relief by the landlord.

We want to compensate our team for loss of earnings too, as what goes for the business, goes for the team as one does not exist without the other.

The Winter and critically Christmas is the period we are able to earn something that could support us through the quiet Summer

We are attempting to fund the team through this closure to ensure when we reopen, the team is ready to go. This is naturally draining what little resource we have, and we hope to be able to utilise some of the generosity and goodwill to support them. Simpsons Tavern has always been lucky with and generous to its staff, and in turn has seen team members give their professional lifetimes to the business. We have only just seen the departure of Jean and Sadly the passing of Maureen. They had been with the business for 43 and 42 years respectively. Coming in everyday with a smile and warm welcome for all. Jimmy in the Kitchen insists he has been here since 1758

It would be a tragedy to see this unique part of the City of London and indeed this nations history turn off the lights forever

I fear, without the support there is no road back for this historic institution. The venue and stories soaked into its walls will be lost. Once we leave, we take it all and the shell that held us, may come to market, but it will never be the same again. Another part of heritage and shared history snuffed out.

Gone will be a venue whose customers previously bragged about who had been coming the longest or ate the most Stewed Cheese and whose secrets were always kept!

I hate to beg, I am a professional who is good at their job, but the odds without support are too high, so please, I ask you

Save Our Simpsons

<https://www.crowdfunder.co.uk/p/save-our-simpsons-tavern>

Please share this document freely and forward it along to anyone you feel should be aware of this circumstance

Thank you in advance

From: [REDACTED]
To: [PLN - Comments](#)
Subject: ACV - Simpsons Tavern
Date: 16 November 2022 11:46:42

THIS IS AN EXTERNAL EMAIL

Dear Sir / Madam,

I am writing to support the application of Simpsons Tavern to become an asset of community value. As an important historical landmark in the Square Mile, it should be considered to be an important asset for several reasons;

1. As the oldest restaurant in the City this is a part of living history, a link between London's past and future, it is an important draw to the city for tourists who then support other business' in the City
2. The menu is still exceptionally good value for what it represents, the last thing the City needs is another overpriced steakhouse only catering to the very wealthy or those with a corporate credit to pay the bill, this is an affordable venue that excludes no one based on cost
3. More and more you are seeing London homogenised into the same private equity backed chain restaurants, Simpsons represents the antithesis to this, tradition and hospitality over margins and profit, and for that it must be cherished.

I urge you very much to confirm this venue as an asset of community value, and save Simpsons for the next generation

Yours Faithfully

Will

Will Hutton

SVP, Fixed Income

[REDACTED]
[REDACTED]

[REDACTED]
[REDACTED]



NASDAQ ("SNEX")

StoneX Financial Ltd

1st Floor, Moor House, 120 London Wall EC2Y 5ET

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NICKIE AIKEN MP
CITIES OF LONDON AND WESTMINSTER



HOUSE OF COMMONS
LONDON SW1A 0AA

Chris Hayward
Chair of Policy
Corporation of London
Guildhall
London
EC2P 2EJ

17th November 2022

Dear Deputy Hayward,

Simpson's Tavern closure

As you will be aware, Simpson's Tavern, London's oldest chophouse which has served the community since 1757, has been forced to shut due to eviction. Owing to its historical importance for the Two Cities, the pub's forced closure by the landlord has sparked grave concern from residents, office workers and visitors alike. I share this sentiment.

In the interests of my constituents and of the thousands of visitors that have come to the City each year to support this business, I am fully on board the Save Our Simpson's campaign and have written to the premise's landlord urging that a workable solution be found that would allow the premises to reopen.

In light of the tremendous concern the eviction has caused, I fully support the application for Simpson's Tavern to be granted an Asset of Community Value (ACV). I hope that the City of London Corporation will give the application the serious consideration it deserves.

Yours sincerely,



Nickie Aiken MP
Cities of London and Westminster

From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Listing of Simpsons Tavern Building as an Asset of Community Value (ACV)
Date: 22 November 2022 08:38:28
Attachments: [image843475.png](#)
[image760655.png](#)
[image769179.png](#)
[image991885.png](#)

Morning,

Please see below.

Thanks,
Rianne

From: Kerry Deal [REDACTED]
Sent: 21 November 2022 16:45
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Listing of Simpsons Tavern Building as an Asset of Community Value (ACV)

THIS IS AN EXTERNAL EMAIL

Good Afternoon,

As a long-time city worker and member of this community, I am deeply concerned about the situation in which Simpson's Tavern find itself.

This storied building not only serves to preserve an essential part of the history of the City of London, but until it's recent forced closure met an essential current daily need of the City of London as a venue to hold business meetings, conduct networking, indeed even to host company lunches and milestone events in an environment that encapsulates the great history of the City. This environment, this vital '3rd space' that serves the City so well, must not be allowed to be lost.

I would urge the City of London to immediately list Simpson's Tavern as an Asset of Community Value, to prevent the repurposing of the building that has served, and continues to serve, our City of London community so well.

Best Regards,



Kerry Deal
Head of Business Development

[REDACTED]
[REDACTED]
a: Freight Investor Services, 80 Cannon Street, London, EC4N6HL





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From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Please save Simpson's
Date: 24 November 2022 10:37:51

FYI

From: Emma Hogan [REDACTED]
Sent: 23 November 2022 22:08
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Please save Simpson's

THIS IS AN EXTERNAL EMAIL

Please save Simpsons. It is a great place.

Best

Emma

From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Please save Simpsons!
Date: 28 November 2022 10:04:52

Hi Jess,

Please see below, thanks.

Kind Regards

Neel Devlia



Neel Devlia

Senior Planning Administrator | Development Division

City of London Corporation | Environment Department | Guildhall | London | EC2V 7HH

neel.devlia@cityoflondon.gov.uk | www.cityoflondon.gov.uk

Juliemma McLoughlin

Executive Director Environment

From: anna.a.myers [REDACTED]
Sent: 28 November 2022 10:03
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Please save Simpsons!

THIS IS AN EXTERNAL EMAIL

Enough with chain restaurants.

Save a London institution.

From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Please Save Simpsons
Date: 24 November 2022 10:37:42
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

FYI

From: Tim Hughes [REDACTED]
Sent: 23 November 2022 21:18
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Please Save Simpsons

THIS IS AN EXTERNAL EMAIL

Dear Sir/Madam,

I am depressed to hear of the recent news of Simpsons Tavern. It is an historic place that has provided sustenance to city workers for sustenance. I hope that it will be saved. We must protect all facets of our history.

Yours,

Tim

Tim Hughes
DIRECTOR

[REDACTED] [REDACTED]

[BPL Global](#)



BPL Global
52 Lime Street

[REDACTED]

[REDACTED]



[Best Broker for Credit Insurance 2022](#)



From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Please save Simpsons...
Date: 24 November 2022 10:38:01

FYI

From: Joe Cook [REDACTED]
Sent: 23 November 2022 23:45
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Please save Simpsons...

THIS IS AN EXTERNAL EMAIL

Joe Cook

Cook Communications
[REDACTED]
[REDACTED]
[REDACTED]

From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Save Simpsons Tavern
Date: 22 November 2022 08:38:23
Attachments: [Simpsons Tavern What s happening How can I help 1668845948.pdf](#)

Morning,

Please see below.

Thanks,
Rianne

From: Paul Richards <[REDACTED]>
Sent: 19 November 2022 08:36
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Save Simpsons Tavern

THIS IS AN EXTERNAL EMAIL

Dear Sir or Madam,

I am compelled to write to you to ensure you are aware of this situation and the significant cultural and historic importance of Simpsons Tavern.

Clearly it would be a travesty if a 265-year-old City of London institution is allowed to die in the circumstances described on the attached.

I have worked in the insurance industry in London for over 30 years and Simpsons is synonymous with my industry and my colleagues within it. It is as much part of the fabric of the City and the insurance industry in particular as Lloyd's of London itself and we will be poorer if this institution falls foul of mismanagement by an apparent overzealous landlord.

I implore you to investigate the circumstances and ensure Simpsons is not killed forever through unjust actions.

Many thanks,

Paul Richards

From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Simpson's
Date: 22 November 2022 08:37:57

Morning,

Please see below.

Thanks,
Rianne

From: stephen clapham [REDACTED]
Sent: 19 November 2022 16:19
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Fwd: Simpson's

THIS IS AN EXTERNAL EMAIL

Please see email below. Thanks

Listen to the podcast

<https://behindthebalancesheet.com/podcasts>

Read the newsletter

<https://behindthebalancesheet.substack.com/>

Get the Smart Money Method book

UK <https://amzn.to/35DLuaH>

US <https://amzn.to/32yaQ7E>



Stephen Clapham
Founder

[REDACTED]
8 Hermitage St London W2 1BE
[REDACTED]



Research | Training | Valuation

Begin forwarded message:

From: stephen clapham <[REDACTED]>
Date: 19 November 2022 at 15:09:22 GMT
To: plncomments@cityoflondon.gov
Subject: Simpson's

I have been in the City since 1985.

I am shocked that Simpson's has been closed. It must be reopened. It's an institution of enormous cultural value. We must keep it open.

Stephen Clapham

Listen to the podcast

<https://behindthebalancesheet.com/podcasts>

Read the newsletter

<https://behindthebalancesheet.substack.com/>

Get the Smart Money Method book

UK <https://amzn.to/35DLuaH>

US <https://amzn.to/32yaQ7E>



Stephen Clapham
Founder

[REDACTED]
8 Hermitage St London W2 1BE
[REDACTED]



Research | Training | Valuation

From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Simpsons Tavern - save it
Date: 24 November 2022 10:37:31

FYI

-----Original Message-----

From: Christopher Peters [REDACTED]
Sent: 23 November 2022 16:44
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Simpsons Tavern - save it

THIS IS AN EXTERNAL EMAIL

To Whom It Should Concern,

I am writing as a local resident, one who works nearby and as a LibDem constituency member regarding the potential closure of Simpsons Tavern on Cornhill. I am sure you are aware of the widespread sentiment that this institution should be saved - indeed I urge that it be listed as an asset of community value.

Yours sincerely,

Christopher Peters

Sent from my iPhone

From: [PLN - Comments](#)
To: [Robinson, Jessica](#)
Subject: FW: Simpsons Tavern
Date: 22 November 2022 08:38:03

Morning,

Please see below.

Thanks,
Rianne

From: ian@long.org.uk [REDACTED]
Sent: 20 November 2022 13:07
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Cc: manager@simpsonstavern.co.uk
Subject: Simpsons Tavern

THIS IS AN EXTERNAL EMAIL

Dear sirs,

It was with great surprise and sadness I heard about the enforced closure of Simpsons Tavern, and I must admit, the more I read about it, the more I struggle to understand the actions of the landlords. Whilst there naturally needs to be progress in the growth and development of the city and its facilities and infrastructure, so we also need to protect and maintain the institutions that make the city what it is. I cannot see that this decision is part of an ongoing plan for the betterment of the local area, or indeed any straight rationale.

Simpsons Tavern is dear to my heart. The first time I was working in the city, in 1995, I was introduced to Simpsons by my father, who had already been working in London for 20 years by that point and visiting frequently before that. He shared with me the tales of his introduction to Simpsons, many years before. In 1998 I started working full time in the city, and it was always a pleasure to go there, but even more of a joy to introduce friends, family and colleagues to the wonderful and convivial atmosphere and environment, not to mention the good, wholesome food. I was there last in September, when I took the opportunity to share a lovely lunch as a thank you to a colleague and show him one of the true gems of the city.

I share my personal relationship with Simpsons to demonstrate the importance to me, knowing also that it is a story that can be repeated by many across the city. From a quick lunch for two, to group meals for 20, we have always been well looked after, and felt part of the history and heartbeat of the City of London.

I would appreciate any support you can lend to this wonderful institution, so that I can once again look forward to introducing my own sons to it.

Kind regards
Ian

Ian Long
MA Cantab
ACII, ACMA,CGMA
Chartered Management Accountant
Chartered Insurer

From: [PLN - PPO Inbox](#)
To: [Robinson, Jessica](#)
Subject: FW: Simpsons Tavern
Date: 16 November 2022 14:43:43

From: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Sent: 16 November 2022 09:41
To: PLN - PPO Inbox <PPOInbox@int.cityoflondon.gov.uk>
Subject: FW: Simpsons Tavern

Hi Team,

Please see below, not sure who to forward to, any help? Thanks.

Kind Regards

Neel Devlia



Neel Devlia

Senior Planning Administrator | Development Division

City of London Corporation | Environment Department | Guildhall | London | EC2V 7HH

neel.devlia@cityoflondon.gov.uk | www.cityoflondon.gov.uk

Juliemma McLoughlin

Executive Director Environment

From: Veran [REDACTED]
Sent: 12 November 2022 21:46
To: PLN - Comments <PLNComments@cityoflondon.gov.uk>
Subject: Simpsons Tavern

THIS IS AN EXTERNAL EMAIL

Dear Sir/Madam

I live and work in the City with my family and would like to support the listing of Simpsons Tavern as a Community Asset. It would be a criminal shame if the business is permanently closed or has to relocate on the watch of current City officers.

I am happy to help in any way.

Kind regards

Veran

Veran Patel
07551 966123

Sent from [Mail](#) for Windows

From: [REDACTED]
To: [PLN - Comments](#)
Subject: Simpson's Tavern
Date: 17 November 2022 23:19:20

THIS IS AN EXTERNAL EMAIL

The sudden loss of a long-standing and historic landmark enjoyed over hundreds of years by the City's residents and business community is an extraordinarily disappointing event.

The City Corporation does many good things but it should address this egregious destruction of a much loved square mile institution.

Hopefully there can be some kind of intervention to make the developer think again.

With kind regards,

Howard Davis

Liveryman WCMPC

Resident Richmond upon Thames

Business Owner Kingston upon Thames

Sent from my iPhone

From: [REDACTED]
To: [PLN - Comments](#)
Subject: Simpson's Tavern ACV Application
Date: 17 November 2022 16:08:45

THIS IS AN EXTERNAL EMAIL

Hello,

I just wanted to offer my support to Simpson's application for ACV status.

I have used this wonderful space as part of my work life as well as personal life in the city.

I believe it offers excellent value as part of city life as well it's historic place as part of the community for hundreds of years.

Thank you,

Michael O'Neill

From: [REDACTED]
To: [PLN - Comments](#)
Subject: Simpsons Tavern - Asset of Community Value
Date: 17 November 2022 18:49:15

THIS IS AN EXTERNAL EMAIL

Dear Sirs,

I am writing in support of the Simpsons Tavern being granted Asset of Community Value status. I feel this should be granted because Simpsons Tavern is exactly that, an asset to the community. There are very few people I have worked with in the City of London that does not know the name of Simpsons Tavern. It is a dining place that is experienced and talked about. When discussing great places to eat the question 'Have you been to Simpsons Tavern?' crops up swiftly by 'We must go it's an institution'. It's a meeting place for friends and business. I have entertained foreign business investors there who specifically want to experience 'True London' 'What London is famous for'. Simpsons is the first place I think of.

Simpsons Tavern is also important to the walking community who enjoy the atmosphere of Cornhill and the Tales of the Taven with an opportunity to go inside and eat. It's also part of the tourist trade who visit the hidden gems that the City has to offer. They talk about it and imagine what it like in 1759.

I very much hope that these things can still occur in the future and that Simpsons Tavern is there for the City to enjoy and experience for another 263 years.

Yours faithfully

Giuseppina Gaudio

From: [REDACTED]
To: [PLN - Comments](#)
Subject: Simpsons Tavern ACV
Date: 17 November 2022 16:41:30

THIS IS AN EXTERNAL EMAIL

Dear Sir

I am delighted to support the application that Simpson's Tavern in Cornhill should be designated as an Asset of Community Value. I have worked in the Lloyd's Market for over 40 years (as did my father and grandfather) and we have all cherished the unique value that Simpson's brings to the life of the City. It was the venue for my first 'City Lunch' back in the 1980's and, when I have taken clients to lunch to 'Simbos', they (particularly Americans) are open-mouthed at the friendly and collegiate atmosphere that has prevailed there since before the 13 Colonies declared their independence. With shared bench tables and racks for Top Hats, it is a living time capsule of all that is unique and wonderful about our City of London.

I have introduced my children (who also work in the City) as well as younger colleagues to the delights of Simpson's and I am hopeful that its charm and value will be allowed to continue for many more generations.

We cannot allow this hub of City life to disappear as it can never be replaced or replicated - as Joni Mitchell sang- "you don't know what you've got 'til it's gone".

Best regards,

Richard Cook

[REDACTED]



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VAT Registration Number: 366 9221 73

Sent from Richard Cook's iPad

From: [REDACTED]
To: [PLN - Comments](#)
Subject: Simpsons Tavern
Date: 16 November 2022 20:19:52

THIS IS AN EXTERNAL EMAIL

Dear Sir/Madam

I'm writing in support of the application for Simpsons Tavern to ACV status.

The venue is a city icon, it's unique and beloved across the city by high and low.

Once it's gone, it's gone forever and as we have seen in the last 30 years, what replaces these icons is glass, steel and forgettable generic international corporate venues.

Please keep in mind what makes London so special when reviewing this application as Simpsons embodies so much about what is great about living in London and working in the square mile.

Yours faithfully

M Jones.

Sent from my Galaxy

From: [REDACTED]
To: [PLN - Comments](#)
Subject: Support of application for ACV Status for Simpsons Tavern
Date: 17 November 2022 20:58:20

THIS IS AN EXTERNAL EMAIL

To who it may concern,

I am writing in support of the application for Simpsons Tavern in the city of London to be ACV listed.

This iconic establishment not only provides an immensely valuable service to city workers like myself as a unique place for socialising and business meetings, but is incredibly valuable from a history point of view and is embedded in the cultural and social fabric of the city of London. To lose this place would be a travesty. Simpsons offers so much value to so many in the community and it would be a great shame for this establishment to be overlooked and lost forever. This isn't a Pret or a Starbucks, but a hub for the community and visitors alike, as well as being of great historic and cultural significance. It is for these reasons I urge you to approve the application, which I whole heartedly support, in order to assist saving it.

Kind regards,

Stuart
An office worker on Cornhill, London

Committee(s)	Dated:
Policy & Resources Committee	15 th December 2022
Subject: Application for designation of St Brides Tavern Public House as an Asset of Community Value	Public
Which outcomes in the City Corporation's Corporate Plan does this proposal aim to impact directly?	4, 10, 12
Does this proposal require extra revenue and/or capital spending?	N
If so, how much?	N/A
What is the source of Funding?	N/A
Has this Funding Source been agreed with the Chamberlain's Department?	N/A
Report of: Juliemma McLoughlin, Executive Director, Environment Department	For Decision
Report author: Jessica Robinson, Environment Department	

Summary

The City Corporation has received a nomination from an Unincorporated Body (via a Ward Member for Castle Baynard acting on their behalf) to designate St Brides Tavern public house, 1 Bridewell Place, London, EC4V 6AP, as an Asset of Community Value (ACV).

National regulations (the Assets of Community Value (England) Regulations) ("the Regulations") were published in 2012 and non-statutory guidance issued by the Government in the same year. In 2016, the Policy & Resources Committee adopted guidelines for the assessment of ACV nominations, including specific guidance for public houses. The information supplied by the applicant has been assessed against these regulations, the national guidance and the Corporation guidelines.

The site has been a public house in its current form and location since 1958. Prior to this evidence has been presented to suggest a site of social interest has existed within the vicinity since 1755, when the Cogers Society formed, and iterations of a public house in this area until the current establishment was developed in 1958. It is therefore considered that there has been the long-term use public house for the past 64 years, with older iterations dating back further which has clearly contributed to a sense of place furthering social interest in the area.

The Regulations require that an ACV nomination should be approved by the local authority if the nomination meets specific criteria. The determination of whether St Brides Tavern should be designated as an Asset of Community Value has been considered on the basis of the evidence submitted by the applicant and the assessment set out in the appendix to this report. The submitted evidence meets the

national criteria and the City Corporation's guidelines for designation of an Asset of Community Value.

Regulations require the local authority to notify the landowners and occupier. At the time of drafting this report, one response to the notification has been made by the long leaseholder of the site which has been considered by officers in the assessment of this nomination submission.

2 letters of support have been received directly in relation to this nomination. 1 letter off support has also been received from CAMRA. There are also further letters of support detailed within the nomination submission that have also been taken into consideration.

Recommendation(s)

Members are recommended to:

- Designate St Brides Tavern Public House an Asset of Community Value.

Main Report

Background

1. On 16th October 2022, the City Corporation received a valid nomination from an Unincorporated Body (via a Ward member of Castle Baynard acting on their behalf), for the designation of St Brides Tavern public house, 1 Bridewell Place, as an Asset of Community Value.
2. This is the third such nomination received by the City Corporation. Responsibility for the determination of ACV nominations has not been specifically delegated to a committee and therefore rests with the Policy & Resources Committee.
3. Part 5 Chapter 3 of the Localism Act 2011 provides for the designation of certain buildings or land as Assets of Community Value (ACV). The legislation allows local community groups to nominate buildings or land as ACVs and requires local authorities, including the City Corporation, to make ACV designations if, in the opinion of the authority, the nominated building or land furthers the social wellbeing and social interests of the local community, and it is realistic to think that there can continue to be use of the building or land which furthers the social wellbeing or social interests of the local community. The landowner has a right to request a review of a decision to designate and a right to independent appeal. There is also provision for compensation to be claimed for loss arising out of the designation and the costs incurred in progressing a successful appeal. There is no right of appeal for applicants seeking designation. Once designated, statutory limitations are placed on a landowner's ability to sell

the building or land in some situations, with an initial 6-week moratorium taking effect after the local authority has been informed of a proposed sale. During this period a community interest group can indicate a desire to be treated as a potential bidder in relation to the land. If such a request is received a 6 month moratorium period comes into effect, during which the landowner cannot agree a sale, to enable the local community to put together a bid to purchase, although there is no requirement on the landowner to sell to the local community at the end of the moratorium period.

4. The application is available on the City Corporation's website, along with information supplied by the nominator at <https://www.cityoflondon.gov.uk/assets/Services-Environment/st-brides-tavern-acv-nomination.pdf>

5. The City Corporation is required to determine this application within a period of 8 weeks from the date of receipt.

6. At its meeting on 15 December 2016, the Policy & Resources Committee approved guidelines for determining nominations for ACVs, applying national regulation to the specific circumstances of the City of London. These guidelines can be viewed here <https://www.cityoflondon.gov.uk/assets/Services-Environment/planning-localism-neighbour-assets-guidelines-2016.pdf>.

Current Position

7. This report deals with the nomination for St Brides Tavern public house. Appendix 1 sets out an assessment of the nomination against each of the criteria established in the City Corporation's ACV guidelines. The assessment is in 2 sections, the first section deals with the statutory requirements for a valid nomination and the potential for future use of the land or building. The second section deals with evidence that the public house use furthers the social wellbeing or social interests of the local community. For the statutory requirements under Section 1, a nomination will need to meet all the requirements to be considered a valid nomination. For the evidence assessment under Section 2, a more flexible approach is taken, with criteria assessed as strong evidence, some evidence, no evidence and uncertain. The overall contribution made to social wellbeing and social interest should be assessed taking all criteria and other local knowledge into account.

8. In terms of Section 1: Validation, the application has been submitted by a qualifying unincorporated body via a Ward Member of Castle Baynard. The unincorporated body has a membership of 22 individuals from Castle Bayard Ward registered on the Electoral List. This group meets the regulatory requirements as an eligible community body, with a local connection, to submit nominations for an ACV under the Regulations. St Brides public house's primary lawful use as a drinking establishment is sui generis and it does not fall within any of the exempt land uses set out in national regulations. The application is therefore valid.

9. The public house is in active use. The existing lease will end in January 2023. Redevelopment works are proposed for the wider site (inclusive of the existing public house) and a planning application has been submitted to the City of London Corporation for consideration but has not yet been decided. The submitted planning application, and appendix to the submitted objection letter, details the proposed reprovision of a public house on this site of St Brides Tavern. A previous planning permission granted in 2015 proposed the demolition of the public house. This planning permission has been implemented through the carrying out of some minor initial works. This scheme would remain a fallback option for the owner to proceed with but considering the current application and time that has passed since the permission was granted there is no indication at the current time that this development is likely to proceed. As such, at the current time there is no certainty regarding the redevelopment of the site and the timing of this. For this reason, it is realistic to think that there can continue to be non-ancillary use of the building which will further (whether or not in the same way) the social well-being or social interests of the community.

10. Section 2 of the assessment relates to whether St Brides Tavern furthers the social wellbeing and social interest of the local community. Appendix 1 details that while the public house does not routinely hold meetings of clubs or events due to its nature as a City pub used regularly by locals, workers and visitors there is also an upper floor bar which is available for functions and booked out for events. The supporting nomination information details that the public house is well used for events such as birthdays, various parties, leaving dos, family celebrations, hen dos, reunions etc. It also provides a list of bookings made so far (up to the submission of the nomination in September 2022), with 27 larger group bookings detailed and more expected for the later part of the year.

11. CAMRA describes this pub as a continuation of a rich history of public house use in this area, dating back to the early 18th Century where the Cogers debating society was considered to have formed, with the current building representing a rare survivor of a post-war purpose-built pub.

12. St Brides Tavern has a long history of use as a public house in its current form dated to 1958 and is described by CAMRA as a City Pub which has local social and cultural associations with this part of the City.

13. The nominating body had put forwards an account of the social history of the pub, which includes information relating to the Cogers, a debating club in the area in 1755. The evidence available suggests that the existing pub is unlikely to be in the same location as historic establishments, but the local community has followed this link between past and existing and the role of pubs in this area, which St Brides could be seen to continue from. Whilst the physical state and exact location of the pub has altered over time, it appears to have a long-standing recognition as a public house

or space for social interest and clearly contributes to a sense of place furthering the social interests of the area.

14. The nomination describes that St Brides Tavern serves local workers, residents, and visitors. Whilst there is no specific social club, the pub lies within a large catchment of City workers. Residents, residents' associations, business groups, individual businesses and workers are included within the communities that the City Corporation will consult in relation to planning matters as set out in the City Corporation's Statement of Community Involvement.

15. A detailed letter of objection to the nomination of St Brides Tavern has been received from the long leasehold owner of the building to the proposed ACV designation. This letter is appended in full to this report. Several considerations have been raised by the long lease holder in their objection letter which have been taken into consideration throughout the report.

16.2 letters of support have been submitted directly to the City of London Corporation, along with 9 expressions of support within the submission documentation.

17. A letter of support has also been received from CAMRA, which is referred to in this report and is appended in full. The letter of objection received points to the guidance issued by CAMRA to those wishing to promote a nomination, which gives examples of evidence that could be used to demonstrate such value. Whilst this is helpful guidance to those wishing to pursue a nomination, this guidance has no official status and it is a generic document, aimed at all the different types of public houses across the country. It is not necessarily focused on an inner-city public house in an area with a relatively low residential population, and footfall that is often much lower on the weekends than during the week. It cannot take into account all the ways which a public house may further the social wellbeing and social interests of the local community, nor is there a threshold that can be set (for example an expectation that most of the facilities or provision of events on the list need to be offered). Officers consider that the supporting letter for this ACV nomination demonstrates that CAMRA considers this public house to meet the criteria for listing.

18. The ACV nomination for St Bride Tavern is therefore considered to meet the requirements under national regulations and City guidelines as a valid nomination and one that furthers the social and community interests of the City. In line with regulations and legislation, St Brides Tavern should be designated as an Asset of Community Value.

Procedural Next Steps

19. If the nomination is refused, there is no right of appeal for the applicant. There is, however, no restriction on the number of nominations relating to

the same site that can be made for ACV status. Each would need to be considered on its merits.

20. If the nomination is approved and the ACV designated, the landowner has a right of appeal. In the first instance the appeal is to a senior officer within the City Corporation who has not been involved in the determination of the initial application (this would be through the Town Clerk or other nominated senior officer). If this appeal fails, there is provision for a second independent appeal to the First Tier Tribunal.

Corporate & Strategic Implications

21. The consideration of St Brides Tavern public house as a possible Asset of Community Value accords with the Corporate Plan (2018-2023) aims to provide modern, efficient and high-quality local services for workers, residents and visitors, and to provide valued services, such as education, employment, culture and leisure, to London and the nation.

Financial implications

22. The Localism Act and Regulations make provision for the possible payment of compensation by the local authority to the landowner of such amount as the local authority may determine for any incurred loss or expense in relation to the land which would be likely not to have been incurred if the land had not been listed as an ACV. Specific reference is made in the Regulations to compensation arising from a delay in entering into an agreement to sell (due to the moratorium) and for reasonable legal expenses incurred in a successful appeal to the First-Tier Tribunal, but the Regulations also permits any other claim in respect of loss or expense.

Resource implications

23. There are no resource implications arising from this report.

Legal implications

24. There is an Exempt Appendix to this report which provides legal advice and is not for publication. There are no direct legal implications arising from this report (save as otherwise set out in this report) but the building owner has the right of appeal, firstly to the City Corporation and secondly to the First-Tier Tribunal which would require additional legal advice, including potentially counsel's advice and support.

Risk implications

25. Although the designation will be a material consideration in the determination of any future planning application, any such application would need to be determined on the basis of its individual merits and its accordance with the Development Plan and taking into account any other material considerations. Designation as an ACV would not fetter the

Planning & Transportation Committee's consideration of the wider merits or otherwise of a planning application.

Equalities implications

26. The City Corporation is required by the Localism Act 2011 to consider this nomination and if, in its opinion, the pub furthers the social wellbeing or social interests of the local community and it is realistic to think that there can continue to be non-ancillary use of the building which will further (whether or not in the same way) the social wellbeing or social interests of the local community then the City Corporation must designate the building as an ACV.

27. The City Corporation are required to have regard to the public sector equality duty set out in s149 of the Equality Act 2010 in the exercise of its functions. It is considered that a public house of this type can contribute positively in bringing together persons and groups from all walks of life and thus contribute to fostering good relations between persons who share a relevant protected characteristic and persons who do not share it. In considering the CAMRA guidance the objector notes that the public house is not fully accessible or inclusive. Good access for disabled people at a public house and the provision of an easily accessible and inclusive space to meet with other members of the local community, and which provides a safe and enjoyable environment is one of a significant number of things listed in the CAMRA guidance which could be evidenced to demonstrate community value. Whilst equality of access would have further weighed in favour of the public house being listed, the City Corporation need to apply the statutory criteria in the determination of the application.

Climate implications

28. There are no direct climate implications.

Security implications

29. There are no direct security implications.

Conclusion

30. A qualifying unincorporated body have nominated St Brides Tavern public house on Bridewell Place as an Asset of Community Value.

31. An assessment of the nomination has been undertaken which has concluded that the nomination meets the requirements set out in the Localism Act 2011 and in the Regulations for a valid nomination. This evidence has also demonstrated that St Brides Tavern furthers the social and community interests of the City and that it will continue to do so in the future.

32. One objection to the designation of St Brides Tavern as an ACV has been received at the date of drafting of this report which has been taken into account in the assessment of this nomination.

33. 2 letters of support have been submitted and 9 letters of support detailed within the submission document.

34. The ACV nomination for St Bride Tavern is therefore considered to meet the requirements under the Localism Act, the Regulations and City guidelines for designation as an Asset of Community Value.

Appendices

- Appendix 1 – Assessment of the application for ACV status for St Brides Tavern public house.
- Appendix 2 – Supporting documents and representations.
- Appendix 3 – Legal Implications NOT FOR PUBLICATION.

The application for ACV status and related representations can be viewed at:
<https://www.cityoflondon.gov.uk/services/planning/planning-policy/localism-and-neighbourhood-planning>

The City of London's guidance on ACV nominations can be viewed at:
<https://www.cityoflondon.gov.uk/assets/Services-Environment/planning-localism-neighbour-assets-guidelines-2016.pdf>

Jessica Robinson

Principal Planning Officer, Environment Department

E: jessica.robinson@cityoflondon.gov.uk

St Brides Tavern - Appendix 1
ACV Assessment Matrix
Assessment Against City Corporation ACV Guidelines

Section 1: Validation of Nomination	Comment	Conclusion
<i>A) Information Requirements</i>		
Description of the nominated land or building	The nomination provides a description of St Brides Tavern Public House and the Land Registry Title and Location Plan. For the avoidance of doubt the nomination relates only to the St Brides Tavern Public House and any parts of the building that are not functionally linked to the public house will not be included in the listing. Those parts of the building which are considered to have a functional relationship with the public house include the ground to second floor areas comprising the bars, stairs, toilets, the associated second floor bedroom and lounge (that are considered to be functionally connected to the pub). The parts of the site in office use (including on the 3 rd floor above the public house) are not functionally connected to the public house and are not included in the listing.	Valid nomination
Information about freeholders, leaseholders and occupiers	A copy of the land registry title has been submitted with the nomination. At the time the nomination was submitted the freehold interest was the only registered interest in respect of the site, although it was clear from the title that an application was pending. Subsequent investigations have revealed that Fleet House Developments Ltd have a long interest in the site. Notice of the ACV nomination was served on them as long leasehold owner, and also on The City of London Corporation as freeholder and the current occupier of St Brides Tavern.	
Reasons for nomination	The nomination provides details that the lease for the public house is not to be renewed; is within a proposed redevelopment site, there is no confidence that the pub will be retained as part of the redevelopment works.	Valid nomination

	<p>The site has been in use as a public house in its current form and location since 1958. Prior to this evidence has been presented to suggest a site of social interest has existed within the vicinity since 1755, when the Cogers Society formed, subsequently there appears to have been iterations of a public house in this area until the current establishment was developed in 1958. It is therefore considered that there has been the long-term use public house for the past 64 years, with older iterations dating back further which has clearly contributed to a sense of place furthering social interest in the area.</p>	
Nominator's eligibility	Nomination is by a not-for-profit unincorporated body with 22 local members.	Valid nomination
<i>B) Status of the Nominator/Applicant</i>		
Does the nominator meet the definition of a community body?	Yes the nominator is considered to meet the definition of a community body. The nomination provides details of 22 local persons registered to vote in the ward of Castle Baynard who have formed a not-for-profit unincorporated body.	Valid nomination
<i>C) Does the Nominator/Applicant have a local connection?</i>		
Are the nominator's activities wholly or partly concerned with the City of London or neighbouring boroughs?	The nominator is an unincorporated body with 22 members and a Ward Member of Castle Baynard within the City of London, has submitted the nomination on behalf of the unincorporated body. The Memorandum of Understanding provided makes it clear that the unincorporated body has been set up for the purpose of submitting the ACV nomination and to assist with any petitions and objection letters regarding the planning application proposing the demolition of St Brides Tavern. This demonstrates that the nominator's activities wholly concern the City of London.	Valid nomination
Is any surplus generated wholly or partly applied for the benefit of the City of	The cover letter to the application confirms that the body does not distribute any surplus it makes to its members and	

London or neighbouring boroughs?	that any surplus it does make is wholly for the benefit of the local authority's area.	
Does the nominator have at least 21 local members who are registered for elections in the City of London?	The nomination provides details of a not-for-profit unincorporated body of 22 local persons of the ward of Castle Baynard registered on the latest Ward List. Under the Regulations an unincorporated body must have at least 21 'local members'.	Valid nomination
<i>D) Does the land or building meet the requirement for nomination?</i>		
Is it located in the City of London?	St Brides Tavern Public House lies within Castle Baynard ward, 1 Bridewell Place.	Valid nomination
Is the building exempted from designation?	St Brides Tavern is currently in use as a public house. It does not fall within the categories of exempted land uses in the Regulations (residential, a residential caravan park or on operational land for statutory undertakers).	Valid nomination
<i>E) Is the nominated use the primary use of the land or building?</i>		
Primary use of the land or building	The Land Registry Title Plan and other information indicates that the of the St Brides Tavern is as a public house and this part of the building is currently leased as such.	Valid nomination
<i>F) Is there evidence of continued/future use?</i>		
Is it realistic to think that the current use could continue or there could be a use which furthers social wellbeing or social interest in the next 5 years?	<p>The lawful use of St Brides Tavern is as a sui generis drinking establishment and this will remain the case until a change of use which is authorised by the City Corporation comes forward through the redevelopment of the site or otherwise</p> <p>The public house is currently in use. The existing lease holders lease will end in January 2023. It is the City Corporation's understanding that there is no legal right for the tenants to renew the public house lease or to remain in occupation after this time.</p> <p>Redevelopment works are proposed for the wider site (inclusive of the existing public house) and a planning application has been submitted to the City of London Corporation for consideration but has not</p>	Valid nomination

	<p>yet been decided. Whilst the Owner's intentions are relevant, the outcome of this application cannot be prejudged and nor is there certainty about the timing of any redevelopment. There is an extant planning permission granted in 2015, which has been implemented. Given the length of time that has past and the submission of a new application, whilst that application would remain a fallback option, there is no current indication that there are any plans to continue with this development.</p> <p>CAMRA describes the pub as a continuation of a rich history of public house use within the vicinity of the site, dating back to the early 18th Century where the Cogers debating society was considered to have formed. CAMRA's letter of support for this nomination details the current pub as a remarkable rare survivor of a post-war purpose-built pub and in their opinion, as far as the criteria under Section 88 of the 2011 Act go, the evidence is overwhelmingly in favour of adding St Brides Tavern to the register of land of community value.</p> <p>The current pub is still in use. The fact that there is no legal right for a lease to be extended does not mean that it is not realistic to think that there can continue to be non-ancillary use of the building which will further (whether or not in the same way) the social wellbeing or social interests of the community). The use does not have to be likely but can be one of several realistic options and must be more than fanciful. The timing of any redevelopment is uncertain. It is clear that if the existing pub were to be retained in the short to medium term it could continue to further social wellbeing and social interest in the next 5 years.</p>	
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Section 2: Evidence that would help show the use furthers social wellbeing or social interest	Comment	Conclusion
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<p>Does the nomination define a local community?</p>	<p>The nomination outlines that St Brides Tavern is used by workers, residents, and visitors. It has strong links to the publishing, press and legal industries.</p> <p>Residents, resident associations, business groups, individual businesses and workers are included with the communities that the City Corporation will consult in relation to planning matters as set out in the City Corporation's Statement of Community Involvement. St Brides Tavern is in an area that has a large catchment of City workers from the legal quarter of the City.</p> <p>Note: There is no requirement in the legislation for a nomination to define a local community but one of the tests in s88(1) of the Localism Act is whether there is an actual current use of the land or building or other land that is not an ancillary use that furthers the social wellbeing or social interests of the local community. In the case of <i>4C Hotels (2) Limited v City of London</i> CR/2017/0011 the Judge agreed with the City Corporation that there did not need to be a residential link between regular users and local residents when there is a small full-time residential population. It was accepted that local community should be interpreted as a body of people viewed collectively and that it was not appropriate to interpret this as meaning a group of people living in the same locality when applying the ACV regime in the circumstances applicable in the City of London.</p>	<p>Strong evidence</p>
<p>1) Evidence from local residents, other individuals or groups who use the public house that it furthers social wellbeing and social interest, e.g. letters, emails, social media, petitions</p>	<p>'Social Wellbeing' is not defined by the Act but as set out in the City Corporations Guidelines for determining ACV nominations, is generally taken to mean a condition where there is a positive sense of involvement contribution to quality of life or welfare. 'Social Interest' is defined to include cultural, recreational or sporting interests.</p>	<p>Strong evidence</p>

Objections have been submitted in response to the pending planning application (ref: 22/00622/FULMAJ) in relation to the potential loss of St Brides Tavern which detail the social interest of the public house.

Since the end of August, a petition has been set up to support the ACV nomination of St Brides Tavern, as of the 11/11/2022 the petition has 1246 signatures. A number of comments express support for the public house and point to its place as part of the local community, and to the tavern as a valuable community resource. It is noted that other comments are more general and relate to concerns about the loss of public houses in general.

The City AM newspaper has also visited David Perkins and Karen Perkins to write about St Brides Tavern Public House and the community.

Emails have been received by the City of London Corporation in support of this ACV application, including a supportive letter from CAMRA.

The nomination is supported by a document which lists a number of other letters that have been received in support of the ACV nomination from the following:

- St Brides Church
- ProLink Television Facilities
- Robert Chesshyre
- Neal Ascherson
- Suzanne Gilda Beech
- Charles Glass
- Jonathan Hunt
- Peter Deeley

The nominating body had put forwards an account of the social history of the pub, which includes information relating to the Cogers, a debating club which is considered to have formed in the area in 1755. The evidence available suggests

	that the existing pub is unlikely to be in the same location as historic establishments, but the local community has followed this link between past and existing and the role of pubs in this area, which St Brides could be seen to continue from. Whilst the physical state and exact location of the pub has altered over time, it appears to have long standing recognition as a public house or space for social interest and clearly contributes to a sense of place furthering the social interests of the area.	
2) Evidence from local Members and other community leaders that the public house furthers social wellbeing and social interest	The nomination has been submitted by a Member for Castle Baynard Ward. The nomination is supported by 22 local members on the Ward Lists, including several elected City Corporation Members and other community leaders from St Brides church and the Archdeacon of London, Fr Luke Miller.	Strong evidence
3) Evidence of awards, recognitions and recommendations earned by the public house	<p>The pub won the best Small Displays Trophy by the Flowers in the City Campaign in 2021 and has received past awards from this campaign in 2018, 2017, and 2014.</p> <p>The pub has received a certificate of excellence from the Cask Marque in 2014.</p> <p>The pub received a Guinness quality approved plaque in 2022-23.</p> <p>A special Cogers plaque is also to be installed shortly to commemorate this historical tie.</p>	Limited evidence
4) Evidence of long term use as a public house contributing to sense of place for the local community	The site has been a public house in its current form and location since 1958. Prior to this evidence has been presented to suggest a site of social interest has existed within the vicinity since 1755 when the Cogers Society formed and iterations of a public house until the current establishment was developed in 1958. As such there is a demonstrated use of a long-term public house over the past 64 years, with older iterations dating back further which has clearly contributed	Strong evidence

	to a sense of place furthering social interest in the area.	
5) Other social or cultural association with local area	<p>The supporting nomination information submitted states that the street has been an important through route since Roman times. During the Middle Ages, businesses were established, and senior clergy lived there. St Brides Church is within proximity, The church choir uses St Brides Tavern Public House. St Brides Tavern Public House is named after the church.</p> <p>It then goes onto say that the area has strong links to the publication and press industries. The Independent Monitor for the Press is still present and is 2 minutes' walk from St Brides Tavern Public House. Many of the journalists and those who work/worked in media still come back to this area and use St Brides Tavern Public House for their reunions, as noted within supporting letters.</p> <p>The supporting information also makes reference to St Bride's Institute, which it states is to the rear of St Brides Tavern Public House, established in 1891 to serve the burgeoning print and publishing trade of nearby Fleet Street and is now finding a new contemporary audience of designers, printmakers and typographers who come to enjoy a regular programme of design events and workshops. The nomination states that many of the workers and visitors here use St Brides Tavern Public House as their local.</p>	Strong evidence
6) Evidence that the public house is well used as a venue for local sports and games competitions, e.g. pool, snooker, darts, dominoes, cards	<p>The pub does not have a social club given its city pub nature and constrained nature.</p> <p>This pub does not host local sports of games competitions due to its size, nature and location as a city pub.</p>	No evidence
7) Fielding a representative 'pub team' in local sports or games leagues or other competitions, e.g. football, darts	The pub does not have any representative pub teams as there are no social clubs.	No evidence

<p>8) Evidence that the public house is well used as a regular meeting venue for local clubs, societies, hobby groups, work-based groups and other special interest groups.</p>	<p>The pub lies within an area that has a large catchment of City workers.</p> <p>The letters and emails provide as part of the nomination detail how the public house is used as a meeting venue for work-based groups, societies, and other special interest groups.</p> <p>St Brides Tavern also has an upstairs bar which can be booked out for private events.</p>	<p>Strong evidence</p>
<p>9) Staging frequent events which meet the needs of local customers, e.g. quiz nights, karaoke, parties, etc.</p>	<p>St Brides Tavern does not stage any events as described.</p>	<p>No evidence</p>
<p>10) Evidence that the public house is used as a venue for local community events and services, e.g. Community Toilet Scheme membership, party bookings, family occasions, room for hire, catering available.</p>	<p>The upstairs dining room is advertised as being available for functions.</p> <p>The supporting nomination information details that the public house is well used for events such as birthdays, various parties, leaving dos, family celebrations, hen dos, reunions etc. It also provides a list of bookings made so far (up to the submission of the nomination in September 2022), with 27 larger group bookings detailed and more expected for the later part of the year.</p>	<p>Strong evidence</p>

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Rob McNicol and Jessica Robinson
Environment Department
City of London
Guildhall
London
EC2V 7HH

10th September 2022

BY EMAIL AND BY HAND

Dear Rob,

RE: St Brides' Tavern Public House - Nomination to be registered as an Asset of Community Value

Please find enclosed the nomination for the St Brides' Tavern Public House to be listed as an Asset of Community Value ("ACV") in accordance with Part 5, Chapter 3, of the Localism Act 2011 and the Assets of Community Value (England) Regulations 2012.

In accordance with Regulations 4 and 5 of the Assets of Community Value (England) Regulations 2012, this nomination is being put forward by an unincorporated body of at least 21 local members, such body does not distribute any surplus it makes to its members and any surplus it does make is wholly for the benefit of the local authority's area (see Regulations 5(1)(c), 4(1)(b)(i), 4(1)(c) and 4(3)). A list of the local members is enclosed in the nomination pack.

We look forward to hearing from you with the Corporation's decision. If you require any further information, please do not hesitate to contact me.

Yours sincerely,



Martha Grekos CC
Ward of Castle Baynard

On behalf of the members listed in the enclosed nomination pack

St Brides' Tavern - Public House

1 Bridewell Place, London, EC4V 6AP

Castle Baynard Ward, City of London



Nomination for listing as an Asset of Community Value
in accordance with Part 5, Chapter 3, of the Localism Act 2011 and
the Assets of Community Value (England) Regulations 2012

10th September 2022

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1. Information Requirements For Validation

(A) Unincorporated body details and eligibility to nominate

The 'at least 21 local members' of the unincorporated body who support this submission for the nomination for the St Brides Tavern Public House on 1 Bridewell Place, London, EC4V 6AP - which is within the Castle Baynard Ward within the City of London - are listed below.

They are listed in alphabetical order. All are registered voters within the Castle Baynard ward and as such satisfy Regulations 5(1)(c), 4(1)(b)(i), 4(1)(c) and 4(3) of the Assets of Community Value (England) Regulations 2012.

1. David Canty, [REDACTED]
2. Alex Dos Santos, [REDACTED]
3. Martha Grekos CC, [REDACTED] Limited, [REDACTED]
4. John Griffiths CC, Rocket Science, [REDACTED]
5. David Hammond, Temple Translations, [REDACTED]
6. Daniel Jobsz, The Wardrobe, [REDACTED] (known as 'Epic Pies')
7. Rev Canon Dr Alison Joyce, St [REDACTED] Church, [REDACTED]
8. Rauf Kasapoglu, JD Cafe-Restaurant, [REDACTED]
9. Alice Kinnane, Temple Translations, [REDACTED]
10. Alison Lee, St Brides Foundation, [REDACTED]
11. Fr Luke Miller, Archdeacon of London, [REDACTED]
12. Eamon Mullally CC, The Old Deanery, [REDACTED]
13. Jack Norgate, Temple Translations, [REDACTED]
14. Henrika Priest CC, [REDACTED]
15. John Pasby, The Alchemist, [REDACTED]
16. David Perkins, St Brides Tavern, [REDACTED]
17. Karen Perkins, St Brides Tavern, [REDACTED]
18. David Rolles, Helix Management, [REDACTED]
19. Jeff Shepherd, Eye Place Limited, [REDACTED]
20. Daniel Tunkel, Memery Crystal, [REDACTED]
21. Sedat Ucuncuoglu, Poppins Cafe, [REDACTED]
22. Anthony Whall, Jones Day, [REDACTED]

(B) Description of the building, Property Title and Land Registry Plan

St Brides Tavern Public House is situated at 1 Bridewell Place, London, EC4V 6AP, which is within the Castle Baynard Ward within the City of London. The Public House is run by David Perkins and Karen Perkins who also reside in the Manager's Flat above the Public House. David Perkins and Karen Perkins lease St Brides Tavern Public House from the Corporation. The lease has been renewed several times, as David Perkins and Karen Perkins have run that pub for 17 years.

A copy of the Property Register and Title Plan are below.

St Brides Tavern Public House is labelled as 'PH' on the Title Plan and its boundary is identified in green on the enlarged plan that follows the Title Plan.



Official copy of register of title

Title number NGL890555

Edition date 25.11.2021

- This official copy shows the entries on the register of title on 15 MAR 2022 at 15:30:12.
- This date must be quoted as the "search from date" in any official search application based on this copy.
- The date at the beginning of an entry is the date on which the entry was made in the register.
- Issued on 12 Sep 2022.
- Under s.67 of the Land Registration Act 2002, this copy is admissible in evidence to the same extent as the original.
- This title is dealt with by HM Land Registry, Wales Office.

A: Property Register

This register describes the land and estate comprised in the title.

CITY OF LONDON

- 1 (30.11.2007) The Freehold land shown edged with red on the plan of the above title filed at the Registry and being Fleet House, 8 to 12 New Bridge Street and part of Bride Lane, London.
- 2 (30.11.2007) A Transfer dated 10 August 1983 made between (1) The Mayor And Commonalty Of The City Of London and (2) Taylor Woodrow Developments Limited contains a provision as to light or air.
NOTE: Copy filed.
- 3 (25.11.2021) A new title plan based on the latest revision of the Ordnance Survey Map has been prepared.

B: Proprietorship Register

This register specifies the class of title and identifies the owner. It contains any entries that affect the right of disposal.

Title absolute

- 1 (30.11.2007) PROPRIETOR: THE MAYOR AND COMMONALTY AND CITIZENS OF THE CITY OF LONDON care of The Comptroller and City Solicitor, The City of London Corporation, Guildhall, PO Box 270, London EC2P 2EJ and of DX121783, Guildhall.

C: Charges Register

This register contains any charges and other matters that affect the land.

- 1 (30.11.2007) The parts of the land affected thereby are subject to the leases set out in the schedule of leases hereto.
The leases grant and reserve easements as therein mentioned.
- 2 (11.01.2018) UNILATERAL NOTICE affecting the land numbered 1 in blue in respect of a lease dated 21 December 2017 made between (1) The Mayor and Commonalty and Citizens of the City of London and (2) Cheeky Chicos Limited for a term of 5 years from 1 January 2018 to 31 December 2022.

Title number NGL890555

C: Charges Register continued

- 3 (11.01.2018) BENEFICIARY: Cheeky Chicos Limited (Co. Regn. No. 09404864) of Finsgate, 5-7 Cranwood Street, London EC1V 9EE.
- 4 (03.04.2018) UNILATERAL NOTICE affecting ground floor basement and mezzanine, 12 New Bridge Street in respect of a lease dated 16 March 2018 made between (1) The Mayor and Commonalty and the Citizens of the City of London and (2) Done Brothers (Cash Betting) Limited for a term of years commencing on 16 March 2018 expiring on 15 March 2023.
- NOTE: Copy filed.*
- 5 (03.04.2018) BENEFICIARY: Done Brothers (Cash Betting) Limited (Co. Regn. No. 1277703) of The Spectrum, 56-58 Benson Road, Birchwood, Warrington, Cheshire WA3 7PQ.

Schedule of notices of leases

	Registration date and plan ref.	Property description	Date of lease and term	Lessee's title
1	Numbered 4 in blue (Part of)	Basement Transformer Chamber	31.07.1961 60 years from 7 July 1961	NGL867958

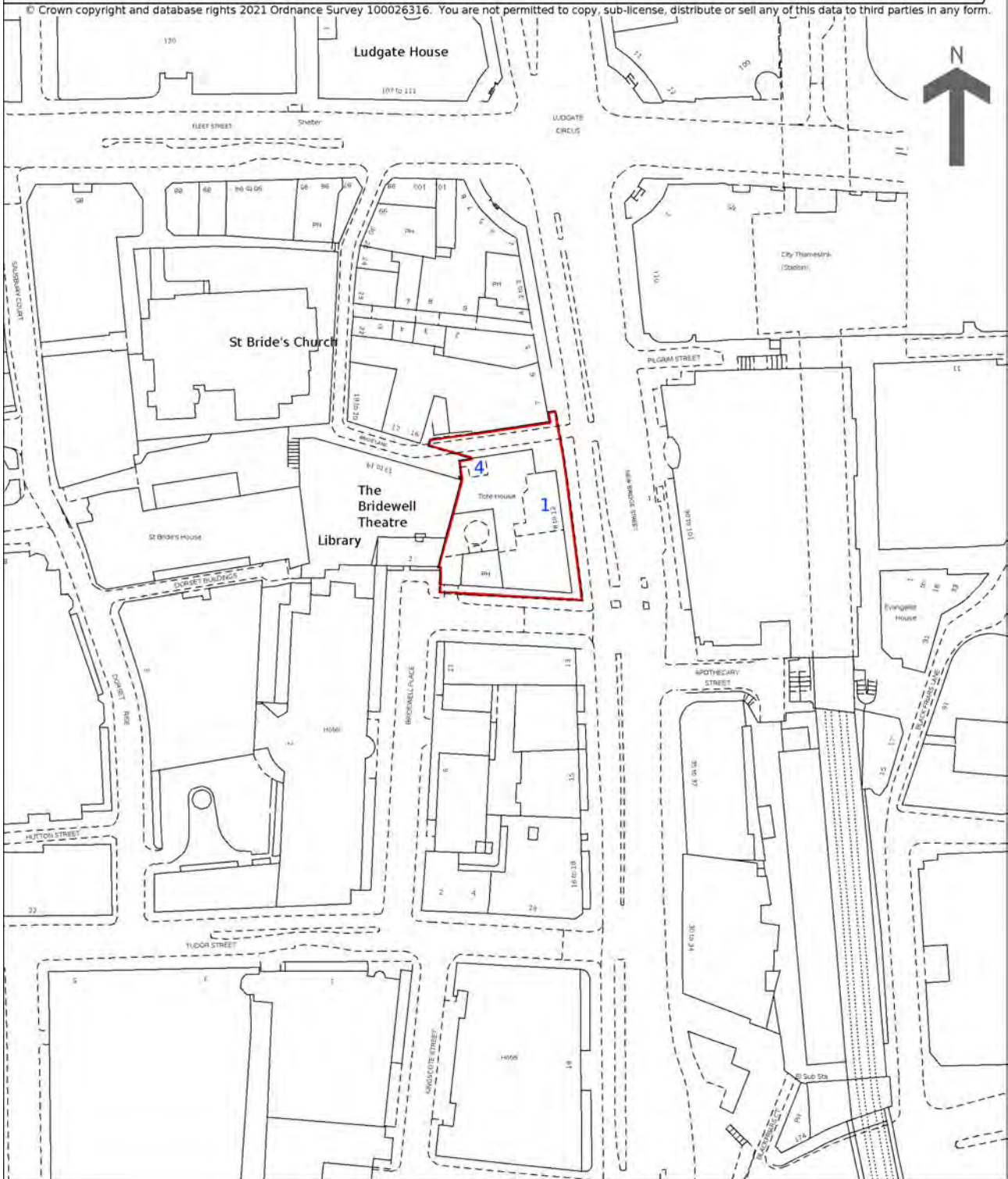
End of register

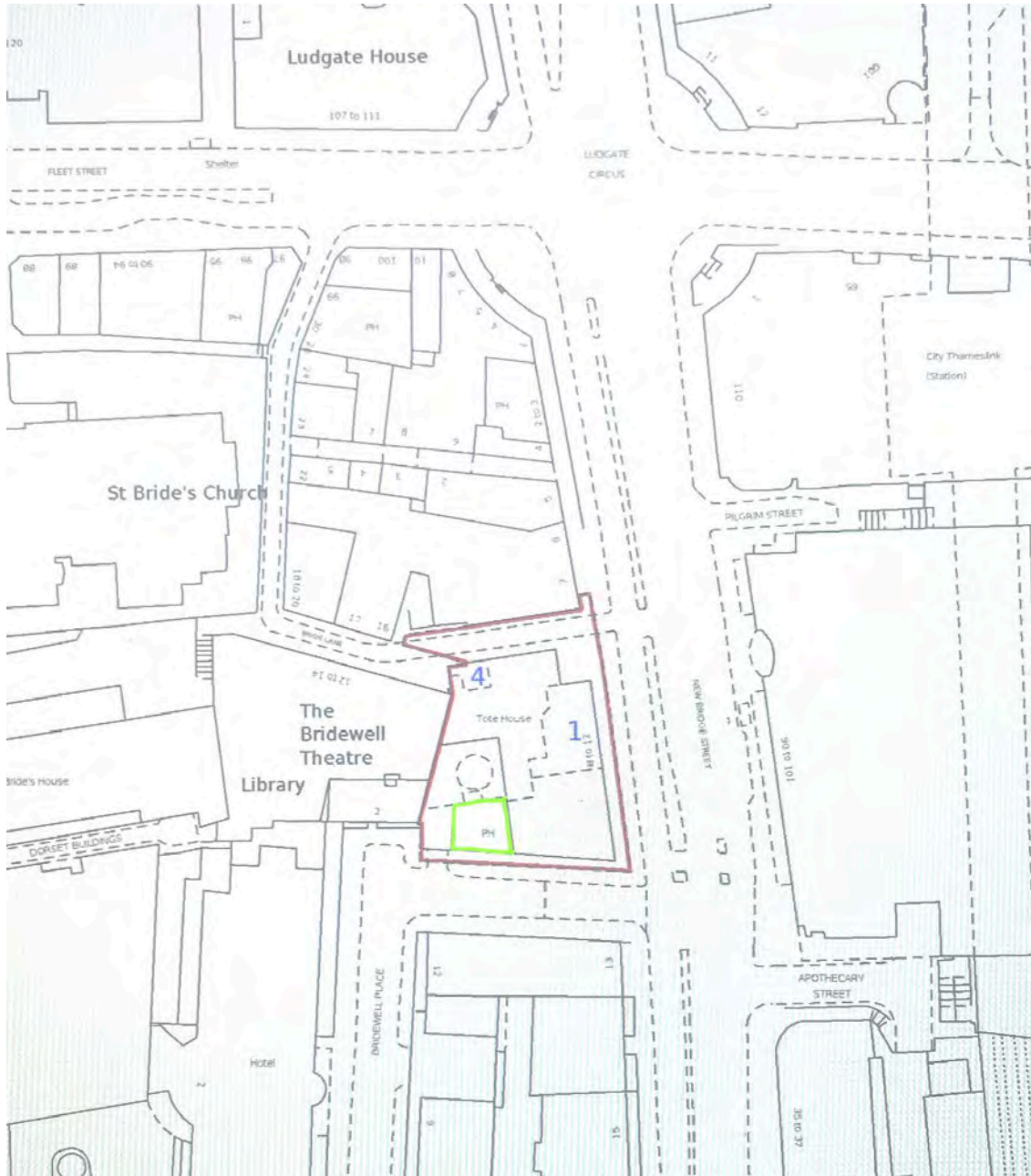
HM Land Registry Current title plan

Title number **NGL890555**
Ordnance Survey map reference **TQ3181SE**
Scale **1:1250**
Administrative area **City of London**



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2. Reasons for Nomination

Legal Requirements

Under section 88(1) of the Localism Act, “a building or other land in a local authority’s area is land of community value if in the opinion of the authority— (a) an actual current use of the building or other land that is not an ancillary use furthers the social wellbeing or social interests of the local community, and (b) it is realistic to think that there can continue to be non-ancillary use of the building or other land which will further (whether or not in the same way) the social wellbeing or social interests of the local community.”

Section 88(2) also further states that “a building or other land in a local authority’s area that is not land of community value as a result of [section 88(1)] is land of community value if in the opinion of the local authority— (a) there is a time in the recent past when an actual use of the building or other land that was not an ancillary use furthered the social wellbeing or interests of the local community, and (b) it is realistic to think that there is a time in the next five years when there could be non-ancillary use of the building or other land that would further (whether or not in the same way as before) the social wellbeing or social interests of the local community.

This submission for nomination fulfils these requirements. Below, we have provided evidence to highlight the above, taking into account the Corporation’s guidelines for Public Houses nominations in the City of London, which are stated in the ‘Assets of Community Value City of London Corporation: Guidelines for Determine Nominations’ (December 2016). We set out the evidence below and also provide direct evidence (whether letters or emails or photos) from the local community to verify our factual statements.

History and current use of the Public House

St Brides Tavern Public House has always been a Public House used by the local community.

It was formally called the ‘White Bear’ and appears as such in records throughout the time. It was also known as the Cogers Hall. The Cogers were a debating society, formed at this pub in 1755 and moving to the Barley Mow in 1871. The pub was sold (as the White Bear) and demolished in 1895. But a replacement pub was provided and this was renamed St Bride’s Tavern - which is the current pub at the address 1 Bridewell Place.

The following link provides evidence to support this <https://pubwiki.co.uk/LondonPubs/StBrides/CogersHall.shtml>

Since 1895, St Brides Tavern Public House has been in its current location and has continued to serve its local community to date (see further below).

History of the Cogers

Convivial debating clubs formed part of the social, intellectual and commercial life of London during that period. Taverns and coffee-houses throughout the capital already functioned as important centres of trade and commerce and gave rise to Lloyds, the Baltic Exchange and the Stock Exchange. In this period Fleet Street was the natural home of publishers and lawyers and by the reign of George the Second at least a dozen clubs had been established for the purpose of reviewing and discussing the contents of newspapers.

The first meeting of the original "Society of Cogers" was convened in the upper room of a tavern in Bride Lane, Fleet Street, in 1755. Its founder members were friends of John Wilkes, a leader of popular agitation against the ministers of George the Third in the cause of freedom of the press.

John Wilkes was the first of three members of the Cogers to be elected to the office of Lord Mayor. Since its foundation, the membership list of the Cogers has also included Aldermen, Members of Parliament, Judges, lawyers, politicians, editors, journalists, publishers and writers.

Many debating societies were suppressed by an Act of Parliament of 1795. The Cogers survived by adopting a policy of strict political neutrality. Over the years the society has provided a platform for the views of Whigs, Tories, Jacobites, Chartists, Liberals, Conservatives, Socialists, Monarchists, Republicans and Democrats as well as those owing no allegiance to any political party or political movement.

Cogers is the oldest Speaking Society in the world. The old "Society of Cogers" is mentioned in encyclopaedias and several histories of the City of London. Its meeting place – the Cogers Hall – was for a great many years a part of the City of London's fabric. During the last century, until the late 1960s, the meetings were held on licensed premises in Salisbury Square. When this place was eventually closed down, the traditional debate was conducted in an informal manner at various pubs in the "Square Mile" before moving to Fleet Street's 'Old Bank of England' hostelry in the 1990s.

Nowadays, with the establishment of the Cogers Trust, additional Cogers clubs have been formed, and the Cogers debating style is at times used in other speaking arenas. The Society of Cogers is the only one of the original coffee house debating societies to have survived. The 250th Anniversary was celebrated in 2005 with a special programme of events at St Bride's. The Cogers can now claim to be the oldest "free-speech forum" in the world, and the Society's future survival is well assured.

Gwyn Rodgers, who is a trustee of Cogers, visited St Brides Tavern Public House on 7th September 2022 and wrote a letter of support to list the St Brides Tavern as an ACV and also detailed some of the historical and social value this Public House has. This letter is printed on the following pages.

Further details of the Cogers can be found here: <https://cogers.org/index.html>



HISTORY OF YE ANTIENT SOCIETY OF COGERS

1755—1903

By PETER RAYLEIGH

WITH ILLUSTRATIONS BY
HERBERT CESCINSKY, G. BUCKINGHAM POCOCK
HENRY SAINT-GEORGE, AND THE AUTHOR

Cogito, ergo sum
—DESCARTES

LONDON
SIMPKIN, MARSHALL, HAMILTON, KENT & CO., LTD.
4, STATIONERS' HALL COURT, E.C.



Engraved by H. Kingwood March 1850

Picture of the White Bear/Cogers Hall, before it became St Brides Tavern



Eve Pattiner and Australian servicemen at the Cogers at Bride Lane (WWII)

Dear Sir/Madam

As a Trustee of Cogers, the oldest discussion/debating Society of the UK, I am writing to support the nomination of St Bride's Tavern to be listed as an Asset of Community Value, and also to object to its demolition under planning application ref. 22/00622/FULMAJ. This is because of the social and historical value of St. Bride's Tavern that I set out below.

The 17th and 18th-centuries saw in the City of London the formation of a good number of social meeting groups in which Citizens assembled for discussion and debate. These were held in the taverns and coffeehouses which had become a feature of the City. One of these was the Honourable Society of Cogers, which held its first meeting in 1755, i.e. 267 years ago. The Cogers – alone amongst all these groups – continues to exist and to meet regularly, and are thus justified in using the phrase "Britain's oldest discussion and debating club".

The name 'Cogers' derives from the philosophical work of Descartes – '*cogito, ergo sum*' ('I think, therefore I am'). The Society's 'Minute Book' a few years after launch notes that "the Society originally consisted of Citizens of London who met to watch the course of political events and the conduct of their representatives in Parliament". It also stated that - included in the Society's 'Objectives' - were "the promotion of the Liberty of the Subject and the Freedom of the Press".

The Society's 1903 history "Ye History of Ye Antient Society of Cogers") states that the society was "founded at the sign of the White Bear, 15, Bride Lane (now the St Bride's Tavern)", and continued to meet there until 1855. It then moved to the nearby Shoe Lane and, in 1871, to the Barley Mow in Salisbury Square. From quite soon after its foundation, the actual meeting room bore the name "Cogers' Hall" on a lamp over the entrance.

Among its earliest leaders was John Wilkes MP, who was one of the most well-known (*and most imprisoned!*) advocates of extending House of Commons membership to representatives from the whole country. Other well-known figures such as Charles Dickens were also frequent 'Cogers' Hall' attenders.

The last century saw various changes of size, influence and venues. However the Society of Cogers continued to hold its regular meetings, and - from 1994 - the City of London Cogers (which now has several branches) now meets in a Fleet Street tavern. It remains an important City institution, choosing a Bridewell location - for example - to hold its various 250th Anniversary Celebrations.

In conclusion therefore I feel very strongly that the Society of Cogers is of great importance, as is its City birth place, and that this should therefore be recognised by retaining the St Bride's Tavern, marked by a special Cogers plaque.

Yours sincerely



Gwyn Redgers (*Trustee – Cogers Trust*)

Evidence of continued/future use

Legislation requires that it is realistic to think that the current use can continue or that there could be a use in the next 5 years which, in either case, furthers the social wellbeing or social interests of the local community.

Given St Brides Tavern Public House has been in its current location and in use as a Public House since 1895, there is no question over its current use as a Public Pub. Indeed, its use can still continue into the future. David Perkins and Karen Perkins still wish to continue running the Public House for the local community. They have been doing so for 17 years already.

There is a 2014 planning permission to demolish the Public House but despite this, the developer has not come forward to take forward such a permission and indeed the lease for the Public House was renewed by the Corporation in 2017 despite the 2014 planning permission being alive.

It is important to note that any pending planning application to end or change the current use should not be pre-judged in order to inform the ACV decision, as such a planning application would be subject to separate consideration. The focus here is very much about whether this Public House serves the local community and furthers the social wellbeing and social interests of that community.

Local community

The local community is not defined in the Act, and public houses in the City serve a range of customers including workers, residents and visitors. Such customers can form part of the local community providing they regularly frequent a public house and contribute to its community spirit. Therefore the local community served by a public house may comprise local residents and others who frequent it and regard it as their 'local'.

The local community here are the local workers (from small to large companies), the residents (which includes members of the Clergy, Common Councillors in the Corporation, individuals and families - some retired others still working in the City etc) as well as visitors (like the journalists and tv reporters that used to work on Fleet Street who come back regularly given how historically linked this area is to the press, or the St Bride's Church Choir who come regularly given the church is just round the corner or other groups linked in some way to the local institutions - especially St Brides Church and St Brides Institute) who come back regularly and frequently. St Brides Tavern Public House has established itself a reputation for continuous regular repeated trade within the local community, workers and tourists alike. This local community have associated St Brides Tavern Public House to being the 'Cheers' pub in London; their 'local' to go there to unwind, meet friends, relax, hold special occasions or even reunions. This is justified by the evidence below where the local community has written in to support the ACV nomination and have highlighted how they use the St Brides Tavern Public House and what it means to their community in terms of social wellbeing or social interest.

Furthering Social Wellbeing or Social Interest

'Social wellbeing' is not defined in the Localism Act, but is generally taken to mean a condition where there is a positive sense of involvement contributing to quality of life or welfare. 'Social interest' is defined to include cultural, recreational or sporting interests.

In 'Assets of Community Value City of London Corporation: Guidelines for Determine Nominations' (December 2016), the guidance states that:-

"In order to list a public house as an ACV it should be shown that the local community derives social benefit from the use and that the local community would suffer a loss if the use ceased. The nature or consequence of the loss to the community should be identified. Examples of evidence that would help show the use furthers social wellbeing or social interest include:

- 1) Evidence from local residents, other individuals and groups who use the public house that it furthers social wellbeing or social interests, e.g. letters, email, social media posts, petitions.
- 2) Evidence from local elected Members and other local community leaders that the public house furthers social wellbeing or social interests.
- 3) Evidence of awards, recognitions and recommendations earned by the public house.
- 4) Evidence of long term use as a public house contributing to a sense of place for the local community.
- 5) Other social or cultural associations with the local area.
- 6) Evidence it is a well-used venue for local sports and games competitions, e.g. pool, snooker, darts, dominoes, cards.
- 7) Fielding a representative 'pub team' in local sports or games leagues or other competitions, e.g. football, darts.
- 8) Evidence it is a well-used regular meeting venue for local clubs, societies, hobby groups, work-based groups and other special interest groups.
- 9) Evidence of the staging of frequent events which meet the needs of local customers, e.g. quiz nights, karaoke, parties, etc.
- 10) Evidence it is a well-used venue for local community events and services, e.g. Community Toilet Scheme membership, providing a venue for parties, family occasions, offering a room(s) for hire, catering available."

(1) Evidence from local residents, other individuals and groups who use the public house that it furthers social wellbeing or social interests, e.g. letters, email, social media posts, petitions

Below are letters and emails from the local community (as defined above) which have written in to support the ACV nomination of St Brides Tavern Public House and to also showcase what the Public House means to them.

Since the end of August, a petition has been set up to support the ACV nomination of St Brides Tavern Petition. The local community have been signing this petition (a QR code is available to sign on the bar counter when you enter the Public House) and to date over 638 people from the local community have signed - this is all in the space of just two weeks. The petition is gathering momentum and growing in signatures.

A link to the petition is available here:

https://www.change.org/p/save-st-brides-tavern-from-demolition?recruiter=363109676&recruited_by_id=149f6420-45dc-11e5-acc-25a2d069ce83&utm_source=share_petition&utm_campaign=share_petition&utm_medium=whatsapp&utm_content=washarecopy_34166297_en-GB%3A7

The City AM newspaper has also visited David Perkins and Karen Perkins to write about St Brides Tavern Public House and the community. A copy of this newspaper article will be forwarded on to you for your perusal once it is published (due to the demise of the Queen on 8th September 2022, the newspaper postponed printing this article in order to be able to focus on these recent events).

Photos are also enclosed to evidence how the pub is used by the local community to congregate - it has a very warm and welcoming frontage with flowers and outdoor sitting on the pavement and there are always people spilling into the street who are enjoying that social cohesion we have all missed of late due to the covid-19 pandemic.

ST BRIDE'S CHURCH

Rector
The Revd Canon Dr Alison Joyce



2nd September 2022

By email:



Dear Martha,

Proposed Demolition of the St Bride's Tavern

I write as a resident of the Castle Baynard Ward (I live at St Bride's Rectory, St Bride's Avenue, EC4Y 8AU), as well as the Parish Priest of St Bride's Church, Fleet Street. I wish to express my profound concern at the proposed demolition of the St Bride's Tavern, as part of the rebuilding of Fleet House.

For a number of years, the family-run St Bride's Tavern has played a highly significant role within our parish. It is a unique local amenity with a thriving, and indeed (contrary to national trends) growing business, serving those who live and work within our area. It is far more than simply 'just another pub'. Moreover, I have grave reservations about whether the proposed redevelopment plans for its replacement are the product of adequate research into the needs of this area, its demographic and the nature of its footfall.

I understand that you are helping the present landlord to apply for an ACV listing. Do please add my name to those who are supporting this move.

Yours sincerely,





Unit 8
Airport Trading Estate
Wireless Road
Biggin Hill
Kent
TN16 3PS
info@prolinktv.co.uk
Registered in England: 2367624
VAT No: GB 532 949621

31st August 2022

Karen,

With the restrictions imposed during lockdown its obviously been a couple of years since we were last able to enjoy your splendid hospitality but, with changes in your establishment on the horizon, I wanted to drop you a brief line to reflect on the past.

I believe it was 2015 when we first came to St Brides Tavern using your First Floor room to host what would become our regular Christmas party venue. When we set out to identify a suitable venue to host a festive event for our workforce and clients the criteria was fairly obvious but not easily found. Location was of primary importance, the venue needed to be accessible to our clients, many of whom were based around the City and the West End and to our workforce who would commute to and from the home counties. Access to a Private Room that felt comfortable for guest numbers of around 40-50 at any one time was our next consideration and finally an establishment that could offer a warm, personal welcome and serving great quality fare completed our list of wants. Surprisingly the choice was limited and it soon became clear that St Brides, and yourself in particular, had the "can do" and personalised hands on approach that we were looking for. That first event was a great success for all concerned as was evidenced by our repeat bookings over the subsequent years. We've never thought of going anywhere else.

The facility you provide in the heart of the capital is truly an oasis of calm in the midst of the hubbub of London. I do hope that you can continue to offer your special brand of hospitality in the future. What you offer is without doubt much appreciated by people such as ourselves looking for that perfect event location with great transport links and fabulous catering and also local individuals looking for a few moments respite from the buzz of the capital.

I wish you well and continued success

Kind regards

Michael Dugard

From: Robert Chesshyre [REDACTED]
Date: 31 August 2022 at 13:48:18 BST
To: Karen Perkins [REDACTED]
Subject: For your campaign.

To whom it may concern:

I was horrified to hear that the St Bride's Tavern is under threat of demolition. I would like to support the pub's application for an ACV for the following reasons.

We, the Friends of The Observer (Fobs), have enjoyed the hospitality offered by the pub's upstairs private party room for many years. It is here that we hold our annual lunchtime pre-Christmas get-together.

There are few places remaining where old Fleet Street hands can meet for such a congenial gathering within walking range of the famous Street itself. The St Bride's Tavern is one of the few old style pubs left: it ties us to our memories.

The pub service – including lunch itself – is unfailingly just what is wanted, laid on by staff anxious to please.

Too much of old London has met with the wrecker's ball: we would be desolated if St Bride's Tavern became another victim.

The former Observer staff has been scattered to the winds. The Tavern has become our home from home.

Robert Chesshyre: chairman of Fobs.

On 31 Aug 2022, at 17:31, David Weedon <[REDACTED]> wrote:

Karen ,

I have been a patron of St Brides since 2000 and held the celebration of the adoption of my 4 children with you in 2004.

I have changed jobs and moved around but always gravitate back to St Brides as it was always seen as our local when I worked at JPMorgan in Tudor St

I meet there when coming into town and since 2007 the same group meet every year on December 2nd to celebrate and remember the great times we had when we worked nearby.

The pandemic changed many things but the first meeting we arranged meant beers at St Brides even if we were outside...

It has great established local presence and is in my view part of the community around Blackfriars

Regards

David Weedon

PS please confirm my booking for first Tuesday in December - 15 people as normal..

From: Neal Ascherson [REDACTED]
Date: 2 September 2022 at 17:56:17 BST
To: [REDACTED]
Subject: St Brides

As a journalist who first began working in the Blackfriars corner of London fifty years ago, I can say that St Brides Tavern has always been a busy, lively and hospitable pub with a loyal core of patrons in the community. That has meant not only casual drinkers, but regulars - journalists, of course, print workers in the old days and so on. But in addition, a variety of organised social groups have adopted the place as their regular venue for committee meetings, socials with partners and reunions after the funerals of one of their members .

I am a member of one of these regular groups (FOBS, friends of The Observer). But I also see in St Bride's Tavern an assortment of local workers who come not just to drink with colleagues after work but to go upstairs to discuss their off-work concerns. - sometimes trade union agendas, sometimes hobbies (the old Microscopical Society from Tudor Street, for instance), Almost always, there is a knot of off-shift workers from Blackfriars Station across the road, who prefer this pub to others in the area for its intimacy and familiar faces.

In short , this 'St Bride's Tavern' is a piece of rich social capital, enabling the survival of some structured community life in a corner of London which has seen such sweeping changes in recent decades.

Neal Ascherson (retired assistant editor, foreign correspondent).

From: Suzanne Gilda Beech <[REDACTED]>
Date: 1 September 2022 at 13:01:49 BST
To: [REDACTED]
Subject: St Bride's Tavern

I was most upset to hear that this wonderful watering hole is under threat. In the early 1970s I used to work at The Observer. Staff who were there during the David Astor years have stayed in touch over the years and have for a while been holding annual reunions. Our numbers are now dwindling, but over the last several years those still able to travel have met for lunch and a drink at St Bride's Tavern. It has been wonderful to be back in the area that has always been so important for the Press. St Bride's Tavern has provided us with the perfect private facilities for our little parties, and we have always been given a great welcome and excellent service. I do hope that it is given a reprieve as it is an important landmark in the area and would be much missed.

From: CMG [REDACTED]
Date: 1 September 2022 at 10:23:22 BST
To: [REDACTED]
Subject: Saint Bride's Tavern
Reply-To: CMG [REDACTED]

Dear Karen Perkins, It is with shock and dismay that I learn of the proposed destruction of your landmark institution, where I have passed many happy - and not a few melancholy - afternoons when I worked in Fleet Street in the 1970s and afterwards. Please add my name to the list of those who demand its preservation. We need the tavern, where I make a point of coming whenever I'm back in London. Good luck with saving your wonderful hostelry, and please let me know if I can help in any way. Best wishes, Charles Glass

From: jonathan <[REDACTED]>
Date: 1 September 2022 at 15:44:39 BST
To: [REDACTED]
Cc: Robert Chesshyre [REDACTED] Carol Cattley/Hall [REDACTED]
[REDACTED]

Hi Karen

Am really sorry to hear the pub is under threat. With my former colleague on the Observer, Ian Mather, we searched around the Fleet Street Area and even beyond for a suitable venue to hold an annual get-together for mainly journalists and others who worked on the paper when it was located about 50 yards away.

Everyone loves returning there, and was ideal then and we would be hard-put to find anywhere similar. It was and remains the ideal size, and has friendly staff who understand our needs.

Some of our number still hold important positions on a variety of publications.

Good luck, and hope we can return this December – and for as many more as we can attend.

Jonathan Hunt

From: "peter.deeley357" [REDACTED]
Date: 1 September 2022 at 10:13:46 BST
To: [REDACTED]
Subject: st brides tavern closure

What a disaster this would be. This pub is part of the rich tapestry that was Fleet Street when we were young journalists. Hope you can help preserve it. Peter Deeley (former Observer news editor.)





2) Evidence from local elected Members and other local community leaders that the public house furthers social wellbeing or social interests.

Three Castle Baynard ward Councillors, namely Martha Grekos, Henrika Priest and John Griffiths are all supportive of the ACV nomination of St Brides Tavern Public House and have as such put their names forward to be part of the 'at least 21 local members' of the unincorporated body who support this submission. All three are registered voters in the ward: Martha Grekos works in Castle Baynard ward as does John Griffiths and Henrika Priest is a resident in the ward. All three use St Brides Tavern Public House and know of its value to the community. John Griffiths' company is round the corner in Fleet House and Henrika Priest's residence is also just round the corner from that. All less than 2-3 minutes walk to 'their local'. Eamon Mullally who is also one of the people listed under the unincorporated body is also a Councillor (in the ward next door - Farringdon Within) but is a resident of Castle Baynard ward who is also very supportive of St Brides Tavern being nominated as an ACV due to the contribution it provides to the life of the area and community.

Other local elected Members in wards close by have also signed the petition. Their names are listed under that.

The names of the 'at least 21 local members' of the unincorporated body who support this submission include other local community leaders (e.g. Rev Canon Dr Alison Joyce of St Brides Church; Alison Lee the Manager of St Brides Foundation; and the Archdeacon of London, Fr Luke Miller who not only resides in the ward but also serves from St Paul's Cathedral which is within the ward boundary). All three have signed the petition and Alison Joyce has written a supportive letter as provided above.

Martha Grekos has also written in separately with regards to planning application 22/00622/ FULMAJ where she has stated clearly why St Brides Tavern Public House does maintain a unique and historical as well as social association with the community. A copy of that letter is reprinted below for this purpose.

Planning Case Officer, Catherine Evans
Planning Department
City of London Corporation
PO Box 270
Guildhall
London
EC2P 2EJ

15th August 2022

Dear Catherine Evans,

RE: 22/00622/FULMAJ - Partial demolition of 8-12 New Bridge Street (Fleet House) and full demolition of St Bride's Tavern Public house

I wish to object to the above planning application as it is contrary to Policy HC7 of the London Plan 2021 'Protecting Public Houses', given that this application is proposing the full demolition of St Bride's Tavern Public House and non replacement/relocation.

Policy considerations

Policy HC7 (Protecting public houses) of the London Plan states that planning decisions should protect public houses where they have a heritage, economic, social or cultural value to local communities. The policy also then goes on to state that applications that propose the loss of public houses with heritage, cultural, economic or social value should be refused unless there is authoritative marketing evidence that demonstrates that there is no realistic prospect of the building being used as a pub in the foreseeable future.

In the supporting text to policy CV1 (Protection of Existing Visitor, Arts and Cultural Facilities) of the emerging City Plan 2036, it states that "There are many cultural facilities that are unique to the City and maintain an historic or cultural association with the Square Mile. Special consideration needs to be given to the protection of these facilities to maintain the City's unique cultural heritage. Examples of such facilities include City Livery Halls, public houses which have a heritage, cultural, economic or social value to local communities...". Policy CV1 states that the City Corporation will resist the loss of existing visitor, arts, heritage and cultural facilities, unless replacement facilities of at least equivalent quality are provided on-site or within the vicinity which meet the needs of the City's communities.

The loss of the existing public house would also conflict with the City Local Plan policies CS12 and DM12.1 which seek to sustain and enhance heritage assets, their settings and significance. NPPF para 203 requires local authorities to take into account the impact of an application on the significance of a non-designated heritage asset. Para 203 further requires a local authority to make a balanced judgement in respect of the harm or loss of a non-designated heritage asset.

Facts/material considerations

St Bride's Tavern is a very busy community public house that has been in existence since 1794 - firstly as a pub called the White Bear which was then replaced and renamed in 1895 as St Bride's Tavern (NB historical record provided by the applicant is incorrect). It is a public house that is extremely loved and well-used by the local community - many call it the "village local", which has been run for 17 years by David and Karen Perkins. Despite being round the corner on Bridewell Place just off New Bridge Street, it has a very warm and welcoming frontage with flowers and outdoor sitting on the pavement and there are always people spilling into the street who are enjoying that social cohesion we have all missed of late due to the covid-19 pandemic.

The 'Public House Report' as submitted by the applicant as part of this application tries to undervalue St Bride's Tavern by stating that it has no or little heritage, economic or social or cultural value and also that the second part of the policy does not apply (ie that if it is of value and therefore directs refusal unless authoritative marketing evidence for 2 years is provided) by stating that there is no realistic prospect of the pub being reused in the foreseeable future.

This is incorrect. Not only does the pub have a historical significance given where it is: St Bride's Institute and Bridewell Theatre are just round the corner; St Bride's Church too. It is part of the fabric of that area and the connections it has to those buildings around it and as used by the press when Fleet Street was oozing with journalists when the newspaper industry was present. The pub is making a positive contribution to the local community. Not all pubs will attract tourists and have a huge historical past like the Ye Olde Cheshire Cheese, and so it is unfair for this report to compare it to such a pub when this pub focuses on the local workers and residents. In 1971, the authors of City of London Pubs said it was the type of comfortable pub which could become anyone's local. At the end of the day, different venues and pubs exist for different reasons and clientele. Economically, the pub is doing very well, socially it is the 'glue' for the locals and culturally it adds value because of this and caters for social wellbeing and social interest, rather than just another chain coffee shop filling up the area. It sustains and enhances the area with its unique charm and character.

In addition, the Community Value Criteria has not been assessed correctly in the report. It states that there are no objections from anyone. A petition was started only two days ago and has received already over 500 objections. This is in addition to the objections received online. The report states that there is no evidence from local elected members to support this pub. The pub is in my local ward and I fully support its retention. It adds character and personality and warmth to this area and should be retained. The Statement of Community Involvement states that I was consulted but never have the applicant's team provided a physical or virtual presentation of this application to me as every other applicant for other applications has done since I have been elected in March 2022. The only way I found out about this application was via an online social media statement by the architects that this scheme was being submitted and I contacted the Planning Department to check if this was correct as it had not as yet been validated.

Castle Baynard Ward and surrounding area is multifaceted and as much as the commercial scheme is welcomed, the pub could be retained rather than be replaced by another contemporary coffee shop. The pub does not have a social media presence or website and there are not as many sports competitions / karaoke events and the like that take place there, but this is something that could easily be done by David and Karen Perkins once they know its future is secured. The pub does not actively pursue social media presence because it is a pub for the community. Lastly, yes it is closed on Saturdays and Sundays as are most shops and pubs in that area. As the local councillor for that ward, this is something I have been working with all retailers to change and to not just focus on weekdays. For example, I wrote to all retailers in June 2022 encouraging them to start opening on weekends and some are trying just Saturdays. A couple of the local pubs have only just started to do so because they have waited to see the footfall start to return and also to be able to have staff on weekends to assist. The Castle Baynard ward area is undergoing a huge amount of construction at the moment, so there are many issues why trading hours for many retailers are very different at present.

The report goes on to give examples of Grind, Notes or Beany Green being potential occupiers of the unit rather than a pub. Would such a class use provide the heritage, economic, social or cultural value to local community? The answer is 'no'. On the doorstep of the pub there is already chain and independent coffee shops - a Costa, Cafe Nero, Pret, Coco Mama, Established Coffee, Cord, Pickwick Coffee and also about to open is Black Sheep. The area needs a variety of shops to serve everyone - many of my constituents keep telling me this - and to retain and celebrate its history rather than another chain coffee shop that is aimed to serve fundamentally the commercial office being proposed rather than the wider community.

To make it clear, the proposal to demolish St Bride's Tavern not only is contrary to part one of policy HC7 but also part two. Any reference to the 2014 application is now irrelevant as the world we live in is in a different place and policies have all moved on since then too.

The commercial scheme is welcomed but the demolition of St Bride's Tavern is not. I therefore urge you to (a) seek that the applicant reconsiders/redesigns the scheme so that St Bride's Tavern is retained in order for the commercial scheme to come forward; and (b) if the applicant continues with the application as is, ie that St Bride's Tavern is to be demolished, that the whole application is recommended for refusal.

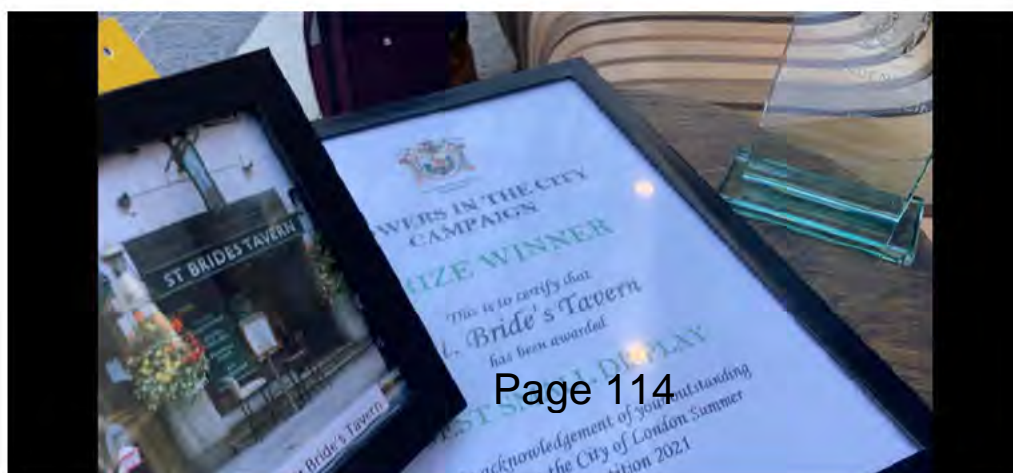
Yours sincerely,

Martha Grekos

Common Councillor
Castle Baynard Ward
City of London Corporation

3) Evidence of awards, recognitions and recommendations earned by the public house.

Below are photos of some of the awards and recognitions and recommendations that St Brides Tavern Public House has been awarded. St Brides Tavern Public House has won several awards for outside flower baskets from the City of London year upon year as well (NB no awards in 2019/2020 due to covid-19 pandemic). The Worshipful Company of Gardeners has also recently proclaimed it as one of its summer winners: <https://www.gardenerscompany.org.uk/flowers-in-the-city/summer-winners/> St Brides Tavern has also gained awards from both Cask Marque and Guinness yearly for the impeccable standards of beer the ale keeping. St Brides Tavern Public House has an extremely high reputation regards this. All this has contributed to positive day and evening trade activity at the Public House, with the local community taking pride in this Public House. As the letter from the trustee of Cogers (see above) also indicates, a special Cogers plaque will also be installed shortly.







Examples of some of the awards given

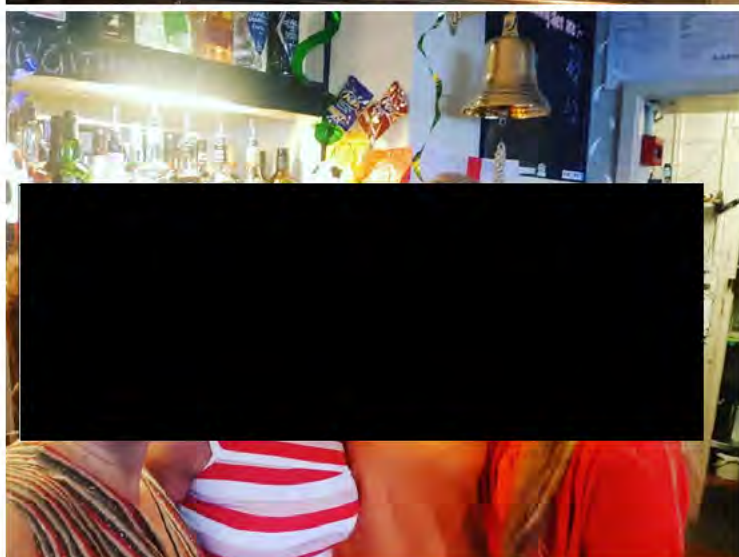


4) Evidence of long term use as a public house contributing to a sense of place for the local community.

The evidence provided all above clearly show that St Brides Tavern has a long term use as a public house and has indeed contributed to a sense of place for the local community. It is part of 'the place' - there is a rich tapestry that this Public House has in its local community. People come together on a daily basis for just a drink or to celebrate events in the calendar year (e.g. Christmas, Halloween, Football matches) or to host special event (leaving dos, birthdays, hen dos, reunions etc).

David Perkins and Karen Perkins have for the past 17 years been providing a family run, independent pub whose personal attention to detail and service, makes them stand out from all the other venues in the area. This is the 'Village Local', in the City of London, amidst an abundance of faceless bars and pubs. The community goes to St Brides Tavern Public House because "everyone there knows your name". A warm welcome goes a long way and can be quite a rare thing in central London. St Brides Tavern is a traditional pub with just such a welcome from David Perkins and Karen Perkins.

More detail of this can be seen in the letter below that David Perkins and Karen Perkins have written in separately with regards to planning application 22/00622/FULMAJ.



OBJECTION TO APPLICATION

According to London Plan (2021) Policy HC7 we feel this application should be refused as our pub does provide a Historical, Cultural, Economic & Sociable venue to the area. Although we are in favour of the proposed retro fit of Fleet House office space we feel we can demonstrate that we do provide the above and our Pub should remain because of this.

As per the application they state the reasons we do not meet the HC7 criteria and their reasons for this. However we feel very strongly that we do meet the criteria and can provide proof of this.

Firstly the application states that there is no Historical value attached to the pub, however there was originally a pub called the White Bear or "Cogers Hall" on this site dating back to 1794, which was replaced with and renamed the St Brides Tavern in 1895. The following link provides all the evidence.

<https://pubwiki.co.uk/LondonPubs/StBrides/CogersHall.shtml>

The application then states our pub has low interest and demand in the area compared with other local venues.

This simply is not true, we are one of the busiest pubs in the area, with consistently high level of trade. It also states we have limitations on being identified because of it's hidden frontage. Again we disagree with this, although we are not on the main thoroughfare, we can be seen and sought out in actual fact, because of our frontage. We spent several weeks during the pandemic cleaning and bringing back the unique bronze frontage at the ground floor level of the pub which had ionized considerably over the decades. This has caused unbelievable amounts of interest, and, if allowed to remain, we would carry the cleaning up onto all 3 remaining levels so bronzing would be visible at all levels.

We have also since the pandemic, been given permission from the City of London to purchase & place outside tables & seating, also heaters have been installed & street heaters added for colder weather, which again, has also provided us to be predominately identified. We have won several awards for our outside flower baskets from the City of London year upon year as well. We have also gained awards from both Cask Marque & Guinness yearly for our impeccable standards of beer & ale keeping, & have an extremely high reputation regards this.

This has all contributed to positive day & evening trade & activity at our pub.

The application then states reviews and posts on social media appear to be from passers by and that the pub was empty, with a modern style interior unlikely to provide a significant positive contribution to the local community.

Firstly, I would like to point out that the application plans are for a modern style interior, so that contradicts their statement completely, also, our interior is a traditional style.

Secondly, although we do use social media, ie Instagram, facebook & twitter, to promote various aspects of our pub, we have established a reputation & have continuous regular repeated trade within the local community, workers and tourists alike. Our word of mouth reputation & recommendation has proven successful to the point that all our customers relate to, and have associated our pub to being the "Cheers" pub in London.

Using online reviews to establish that we merely have a few regulars & mainly tourists is a poor and lazy way to come to such a conclusion.

A petition we have raised & objections to the application from our customers & local businesses, will provide evidence to the contrary.

The link is as follows. <https://www.change.org/p/save-st-brides-tavern-from-demolition>

The application then states that we have a room for private hire & is unclear on the demand & whether it caters for the local community. Again, without consultation or investigation from the applicant, we can confirm that it does cater for the local community, workers & businesses & proves to be extremely popular for their private events. However, it also serves on a regular basis as another area for drinkers to use throughout the year as we are that busy that it is required, especially as it has a full working bar facility within.

The application then states that in comparison, The St. Brides Tavern appears to be lacking an identity. It goes on to state that it was the only pub within the surrounding area which did not have a website & had noticeably less interaction on its social media page. The pub also closes on a Saturday & Sunday, arguably not contributing significantly to the night time economy.

To these points, we do not have a lack of identity, as explained previously, our identity is not based around social media, it is based on providing a family run, independent pub whose personal attention to detail & service, makes us stand out from all the other venues in the area. We are in fact, The Village Local, in the City of London, amidst an abundance of faceless bars & pubs.

We have tried weekend trading over many years in the past, but footfall in this area was at the time lacking justification, however we are willing to look at this again since the pandemic recovery in the hope that we can attract not just tourists, but also locals alongside The City of Londons aspirations.

The application is for a new coffee shop, class/E suigeneris (pub) to replace as a retail unit of our pub.

To introduce another coffee shop style retail unit into the area we believe is not going to increase footfall into The City, not only at weekends, but also mornings, afternoons & evenings during the week as well. Our experience, both trading & living at St Brides Tavern during the past 17 years has given us an unlevelled insight as to what customers of all types are looking for.

We are aware of many new office units with retail space at ground level as per the application that are still stood empty & have been for years in the area, as people when they are socialising, want & need a pub, it is indeed a British Tradition for many a century & since the pandemic, people want this even more now. Feedback from our customers, is that our pub is a big part of the reason that they have come back to their offices to work. It is a social hub for them to meet, entertain & relax, which over the course of the day & evening, a coffee shop area will not provide.

5) Other social or cultural associations with the local area.

Encompassing an area which features Fleet Street and its institutions at its heart, there is a rich social and cultural history here.

The street has been an important through route since Roman times. During the Middle Ages, businesses were established and senior clergy lived there (and they still do); several churches remain from this time including St Bride's Church which is round the corner from St Brides Tavern Public House. St Bride's Church is a thriving parish church, renowned for outstanding music and unique ministry to all who work in the media. See: <https://www.stbrides.com> The church choir uses St Brides Tavern Public House. St Brides Tavern Public House is named after the church of St Bride's which is a short distance to the north west, and the pub sign displays the spire of the church above the surrounding rooftops.

Fleet Street became known for printing and publishing at the start of the 16th century, and it became the dominant trade so that by the 20th century most British national newspapers

operated from here. Much of that industry moved out in the 1980s after News International set up cheaper manufacturing premises in Wapping, but some former newspaper buildings are listed and have been preserved. The Independent Monitor for the Press is still present and is 2 minutes walk from St Brides Tavern Public House. Many of the journalists and those who work/worked in media still come back to this area and use St Brides Tavern Public House for their reunions.

The term Fleet Street remains a metonym for the British national press, and pubs on the street once frequented by journalists remain popular. Fleet Street has a significant number of monuments and statues along its length, including the dragon at Temple Bar and memorials to a number of figures from the British press, such as Samuel Pepys and Lord Northcliffe. The street is mentioned in several works by Charles Dickens and is the home of the fictional murderer Sweeney Todd.

St Bride's Institute, which is just on the side at the back of St Brides Tavern Public House, was established in 1891 to serve the burgeoning print and publishing trade of nearby Fleet Street, and is now finding a new contemporary audience of designers, printmakers and typographers who come to enjoy a regular programme of design events and workshops. Many of the workers and visitors here use St Brides Tavern Public House as their local. See: <https://sbf.org.uk>

St Brides Tavern Public House is part of the fabric of that area and the connections it has to those buildings around it and as used by the press.

The association and history of Cogers with St Brides Tavern Public House and the local area has already been described above.

6) Evidence it is a well-used venue for local sports and games competitions, e.g. pool, snooker, darts, dominoes, cards.

This is not the sort of Public House that has local sports and game competitions. This is simply your local where you go to catch up with your friends. Different venues and pubs exist for different reasons and clientele. Economically, the pub is doing very well, socially it is the 'glue' for the locals and culturally it adds value because of this and caters for social wellbeing and social interest. It sustains and enhances the area with its unique charm and character. It is part of the historical make-up of this area.

7) Fielding a representative 'pub team' in local sports or games leagues or other competitions, e.g. football, darts.

See above.

8) Evidence it is a well-used regular meeting venue for local clubs, societies, hobby groups, work-based groups and other special interest groups.

The letters and emails provide above clearly showcase that it is a Public House that is well-used meeting venue for work-based groups, societies and other special interest groups.

9) Evidence of the staging of frequent events which meet the needs of local customers, e.g. quiz nights, karaoke, parties, etc.

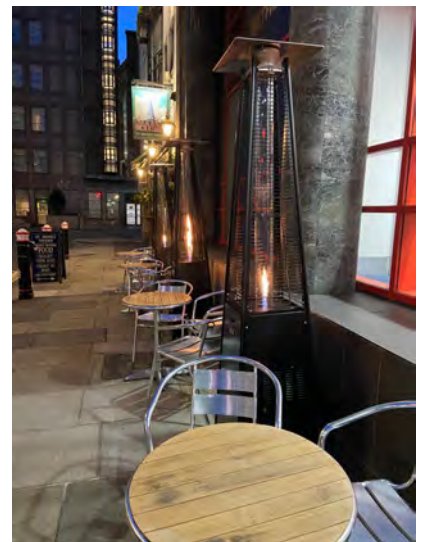
This is not the sort of Public House that stages such events.

10) Evidence it is a well-used venue for local community events and services, e.g. Community Toilet Scheme membership, providing a venue for parties, family occasions, offering a room(s) for hire, catering available.

The letters and emails provided above clearly showcase that it is a Public House that is well-used for such events (birthdays, various parties, leaving dos, family celebrations, hen dos, reunions etc) and that the upstairs bar is available for hire.

Looking at the 2022 calendar year so far, St Brides Tavern Public House has/had the following bookings for the upstairs bar (first names are only stated for the reservations below, but these are from companies that use St Brides Tavern Public House regularly. More bookings are expected now for the time leading up to Christmas):

Feb 9th Toby 5 people 2pm
Feb 23rd Tom 10 people 5pm
March 10th Grace 20 people 6pm
March 10th Max 15 people 5.30pm
March 24th Megan 10 people 6.30pm
March 30th Emma 20 people 1pm - 4pm
March 30th Christine 30 people 5.30pm
April 26th Dave 30 people 5.15pm
April 27th Louis 16 people 6pm
May 5th Daniel 12 people 5.30pm
May 10th Sarah 18 people 5pm
May 10th Phillip 10 people 5pm
May 13th Dave 10 people 4pm
May 24th Anna 8 people 5pm
May 26th Dave 18 people 6pm
June 9th Mark 18 people 5.15pm
June 13th Dave 10 people 4pm
June 14th Lisa 6 people 6pm
July 1st Martin 10 people 4pm
July 18th George 10 people 4pm
July 18th Chris 16 people 6pm
July 28th Lon 7 people 4.30pm
August 3rd Greg 20 people 5pm
September 7th Luke 40 people 5pm
September 13th Deborah 10 people 12pm - 4pm
October 5th Anna 20 people 5pm
December 6th Dave 15 people 6pm



Upstairs room / bar for hire



James Watson
CAMRA East London & City Branch
c/o 230 Hatfield Road
St Albans
Hertfordshire
AL1 4LW

19th September 2022

Rob McNicol and Jessica Robinson,
Environment Department,
City of London Corporation,
Guildhall,
London,
EC2V 7HH

By Email: rob.mcnicol@cityoflondon.gov.uk

Dear Rob,

St Bride's Tavern ACV Nomination

The Campaign for Real Ale (CAMRA) is a volunteer-led campaigning organisation with over 160,000 members. We exist to celebrate and support pubs and traditional British cask beer at the heart of our communities. As the regional pub protection advisor for the Greater London region, I write with the blessing and authority of the East London & City Branch, which covers the City of London.

We have previously worked with the Corporation of the City of London on planning policy matters and on specific campaigns involving pubs under threat or the need for equivalent alternative provision within developments e.g. The Tipperary, The Hack & Hop and The Still & Star.

We are aware of a planning application to demolish St Bride's Tavern on 1 Bridewell Place within Castle Baynard Ward and will be making comments to your colleagues in the planning service once we have examined the application and proposals in detail.

We have also been made aware of a nomination for registration of the pub as an Asset of Community Value under the 2011 Localism Act. We would like to pledge our wholehearted support for this nomination and encourage the Corporation of the City of London to look most favourably upon it.

Although in its present guise as a late 1950s mixed used office and retail building, St Bride's Tavern actually continues a rich history of public house use on that site, dating back to at least the early 18th century. The Cogers debating society was formed within the pub in 1755 when it was known as The White Bear.

The current building is remarkable inasmuch as it is a rare survivor of a purpose built post-war pub from an era when pub building in London was scant. St Bride's Tavern is a family-run, independent pub, in an area dominated by managed and chain houses. Pubs within the City are very special, serving more visitors, workers, guests and tourists than locals, but contributing inestimably to the character and charm of the ancient commercial heart of London. Whilst St Bride's Tavern might not be considered as architecturally significant as (say) Ye Olde Cheshire Cheese or The Black Friar, it adds to the rich spectrum of the City's pubscape and has built up a loyal following under the very careful stewardship of David and Karen.

I recently called in for a lunchtime drink myself and to have a detailed look at the pub and I was very impressed with the presentation, enhanced during lockdown by the painstaking clearing of the original bronze frontage. The interior is smart and tidy and the service and welcome were excellent. Having spoken to some of the regulars, I can confidently say that this is precisely the sort of pub that the Localism Act was designed to protect. Whilst I recognise that ACV registration provides no silver bullet and any community offer of takeover cannot impose a sale, it does lend weight in the form of a material planning consideration, which will be of significant in the forthcoming planning proposal to demolish the pub, a scheme which, in our view is unnecessary and contrary to policy.

As far as the criteria under Section 88 of the 2011 Act go, the evidence is overwhelmingly in favour of adding St Bride's Tavern to the register of land of community value and we would lend our voices firmly behind the Ward Councillors and the members of the unincorporated association in whose name the nomination has been made.

Yours sincerely,

James Watson
For, and on behalf of, The Campaign for Real Ale
www.camra.org.uk

Jessica Robinson
Principal Planning Officer
Environment Department
City of London
Guildhall
London EC2V 7HH

Taylor Wessing LLP
5 New Street Square
London
EC4A 3TW

BY EMAIL: jessica.robinson@cityoflondon.gov.uk



Date
15 November 2022

Our reference
UASW/EJT/ATE8.U1

Your reference

Dear Jessica

St Brides Tavern - Nomination for the designation as an Asset of Community Value

1. We write on behalf of Fleet House Development Limited, the long leasehold owner of the property known as Fleet House, 8-12 New Bridge Street, London EC4 (the "**Property**").
2. We refer to your email of 21 October 2022 regarding the application for the public house at the Property known as St Brides Tavern (the "**Public House**") to be listed as an asset of community value ("**ACV**") (the "**Nomination**"). For the reasons set out in this representation, we do not consider that the Public House meets the requirements for an ACV and respectfully request that the City of London Corporation (the "**Corporation**") declines the Nomination.

Legislative framework

3. The requirements for the designation of land or buildings as an ACV are set out in the Localism Act 2011 (the "**Act**") and the Assets of Community Value (England) Regulations 2012 (the "**Regulations**"). In summary, this legislative framework provides that where a local authority receives a valid community nomination concerning land in its area, the nomination should be accepted if that land is of community value.
4. We have considered both the validity of the Nomination and the substantive question of whether the Public House is of community value against the requirements of the Act and Regulations, taking into account the Corporation's guidelines for determining nominations (December 2016) (the "**Corporation's Guidelines**") and relevant case law and industry guidance. We set out a tabular analysis of the Nomination against this framework at **Appendix 1** and expand on these matters below.
5. In summary, we do not consider that the current commercial use of the Public House furthers the social wellbeing or social interests of the local community. The evidence provided in the

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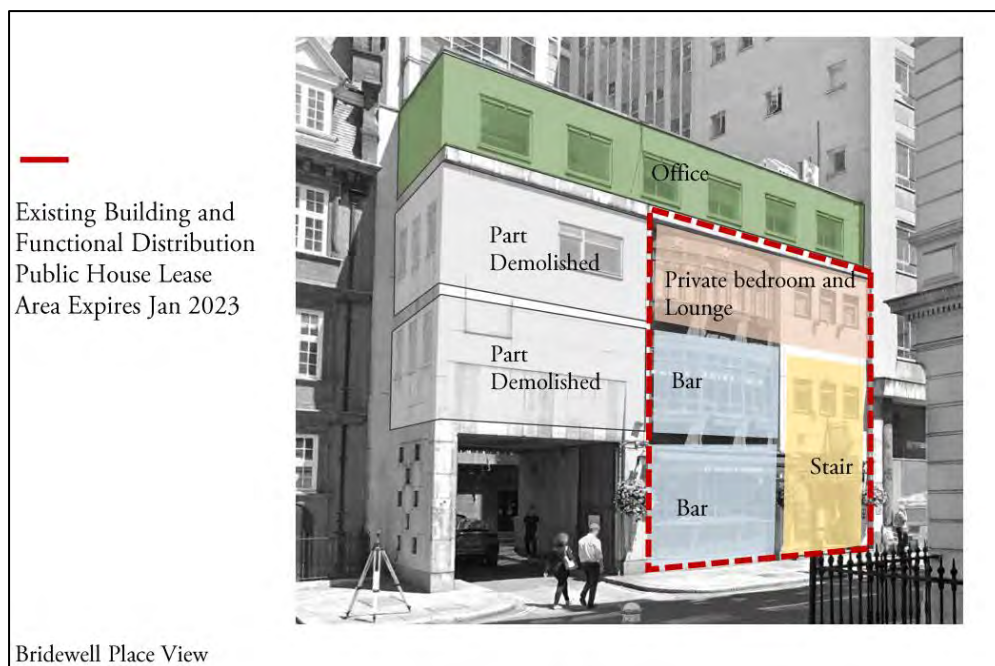
Nomination falls short of that required by the Corporation's Guidelines and there is little that distinguishes the Public House from any other drinking establishment in the City of London – of which there are c.200 according to the Corporation's Guidelines.

6. While the Nomination appears to be motivated by the proposed redevelopment of the Property pursuant to planning application 22/00622/FULMAJ (the "**Planning Application**"), this is not a reason to list the Public House as an ACV. Indeed, if anything, the Planning Application demonstrates that any perceived loss to the local community carries limited weight, as the applicant has been in extended dialogue with the Corporation's planning officers and is fully committed to re-providing a larger, fully accessible and more prominent public house use as part of the refurbishment plans. A formal update of the Planning Application's development description and the subsequent commencement of a re-consultation period is pending the planning officers' initiation of same.

Validity and information requirements

Description of the land or building

7. A community nomination is required to include a description of the nominated land, including its proposed boundaries.
8. The Nomination describes the Public House and includes a copy of the freehold title plan and title register. This plan is misleading, as the area demised under the Public House lease is limited to the basement, ground, first, and second floors and the part of the demise in actual front of house use as a public house is limited to approximately 80 sq m (NIA) allocated across the ground and mezzanine floor levels.
9. The image below shows in profile the area demised under the Public House lease, and the areas in public house use, in the context of the wider Property in which it is inset. The Public House sits below one of the existing floors forming part of the main Fleet House building and adjoins two partially demolished floors (internal) and a betting shop at ground floor level (all outside the Public House lease demise). The Public House represents a small proportion of the total floor area at the Property, with the primary use of the Property being office use.



10. Should the Corporation be minded to accept the Nomination, notwithstanding the matters set out in this representation, any ACV designation should be limited to the part of the Property in public house use.

Occupants, freeholders, and leaseholders

11. A community nomination is required to include a statement of all the information that the nominator has with regard to the current occupants of the land and all of those holding a freehold or leasehold estate.
12. The Nomination identifies the Corporation as the freeholder and David Perkins and Karen Perkins as the occupiers of the Public House. However, it does not mention Fleet House Development Limited's long leasehold interest, despite this being information held by the nominators through both the consultation on the Planning Application and through the landlord and tenant engagement with David Perkins and Karen Perkins (including the payment of rent to Fleet House Development Limited).

Evidence of the nominators' eligibility

13. A community nomination is required to provide evidence that the nominator is eligible to make a community nomination. The Nomination provides details of a not-for-profit unincorporated body of 22 residents of the ward of Castle Baynard. We should be grateful if the Corporation would confirm that at least 21 of these individuals are registered on the February 2022 electoral ward list.

Community Value

14. While we have some queries about the validity of the Nomination, as set out above, the Nomination should not be accepted because it does not establish that the Public House is indeed of "community value" as defined in the Act and Regulations and informed by the Corporation's Guidelines and other relevant guidance.
15. The Act provides that a building or land will be of community value if, in the responsible authority's opinion:
 - a) an actual current use of the building or other land that is not an ancillary use furthers the social wellbeing or social interests of the local community, and
 - b) it is realistic to think that there can continue to be non-ancillary use of the building or other land which will further the social wellbeing or social interests of the local community.
16. The concepts of "social wellbeing" and the "local community" are not defined in the Act or Regulations, while "social interests" are defined as including cultural, recreational, and sporting interests. This provides flexibility for responsible authorities to consider how these concepts apply in their area, as the Corporation has done in the Corporation's Guidelines. We set out a tabular analysis of the Nomination against the evidence required by the Corporation's Guidelines at Appendix 1 and comment further below.

Does the actual current use of the Public House further the social wellbeing or social interests of the local community?

Overall body of evidence

17. The Nomination includes unclear and in any event very limited evidence of uses, facilities, events, or indeed awards which could establish that the Public House is of community value, or which otherwise distinguish the Public House from the c.200 other drinking establishments in the City or indeed the seven other public houses located within 200 metres.
18. The Nomination lists a series of 27 booking names suggested as being from groups or companies using the 40 sq m upstairs mezzanine floor of the Public House for private events.

It is worth noting that the mezzanine floor does not include any level access meaning the range and extent of customers or members of the community that can access this space is limited in the first place – but equally this is a commercial activity rather than a community function and is not in any way distinct from the multitude of other pubs in the immediate area such as The Olde Bell Tavern's Private Dining Room on Fleet Street, The Punch Tavern also on Fleet Street, The Albion on New Bridge Street, or Three Cranes on Garlick Hill, all of which provide function or private hire / dining space.

19. Guidance issued by CAMRA advises those wishing to promote a nomination that *"to get your pub listed as an Asset of Community Value you will have to demonstrate to the Council how it adds significant value to your local community"*. The guidance goes on to give examples of evidence that could be used demonstrate such value. Although the CAMRA guidance has no official status, it is telling that the Nomination is able to provide little such evidence, suggesting that on CAMRA's own guidance the Public House is not of community value. For example:
- a) The Public House does not host live music events, quiz nights, beer festivals, or karaoke nights. It does not offer games such as dart boards, quiz machines, pool tables, or board games, nor does it sponsor a representative team in sports leagues.
 - b) There is no evidence of the Public House advertising local events or businesses, providing local community groups with meeting spaces, or raising funds for local charities.
 - c) The Public House does not offer a food menu.
 - d) There is no evidence of the Public House being used for election hustings or constituency surgeries, coordinating a neighbourhood watch scheme, or offering other important services to the local community.
 - e) The Public House does not offer good access for disabled people.
 - f) The Public House is not listed or considered to be of particular architectural merit, it is not noted to be of any historical significance in the Fleet Street Conservation Area appraisal.
 - g) The Public House does not offer facilities such as children's areas or a beer garden or otherwise provide facilities which are not available elsewhere in the area.
 - h) There is no evidence that the Public House has won any awards for services to the community, been referenced in any prominent tourist or local pub guide, is included in CAMRA's Good Beer Guide or is a member of CAMRA's LocAle initiative.
20. We have included a more detailed analysis of the Nomination against the evidence suggested by CAMRA at **Appendix 2**. When this is considered together with the evidence required by the Corporation's Guidelines (as set out at Appendix 1) it is difficult to conclude that any particular social value is associated with the current use of the Public House. We comment further on specific matters in the Nomination below.

History of the Public House

21. The history of the Public House, as set out in the Nomination, contains a number of inaccuracies and should be given little weight.
- a) The Nomination states that St Brides Tavern, by which it means the current pub premises at 1 Bridewell Place, has been in its current location and has served the local community since 1895. This is incorrect. The current Public House was constructed in the late 1950s / early 1960s following the grant of planning consent in 1958. Prior to the construction of the current Public House, there is no record of a public house at the Property.

- b) The Nomination states that prior to 1895, there was a public house called the White Bear on the same site which was sold and then demolished in 1895. This history of a public house at the Property is not supported by historical mapping. For example, the records below dated 1886 and 1895 show that the site of the current Public House was occupied by a police station and a post office at this time.
- c) The Nomination relies heavily on the Public House's association with the Cogers Debating Society. On the basis that the White Bear was located at the site of the current Public House, the Nomination asserts that the Cogers was formed at the site of the Public House in 1775 and that the Cogers used a public house at this site until 1871. While the existence and history of the Cogers generally is not in question, the purported link to the Public House is not supported by the historical records.
- d) This is evident from the Nomination which contradicts itself in this regard, as it goes on to say that the first meeting of the Cogers was "*convened in the upper room of a tavern in **Bride Lane, Fleet Street, in 1755***" (our emphasis). The letter from a trustee of the Coger Trust similarly refers to the Cogers being formed at 15 Bride Lane (a statement which is repeated on the Cogers website). The Public House is of course located at Bridewell Place – 15 Bride Lane is entirely outside the legal demise of the Property.
- e) There was historically a public house located on the northern side of Bride Lane which may have been associated with the Cogers. This public house is shown marked "PH" on the historical maps below. This public house no longer exists and the Cogers have frequented many public houses in the City since then. In any event, any historical or cultural value that this former public house on Bride Lane may have had is of no relevance to whether the Public House should be listed as an ACV, given that it is on a different site.



Fig 1: Extract from 'Insurance Plan of City of London Vol II: Sheet 32 1886'



Fig 2: Extract from Ordnance Survey Map 1895

22. For all of the above reasons, no community or social value can be established from the history of the Public House set out in the Nomination and in particular from the purported association with the Cogers.
23. Indeed, the Corporation has already determined the historic value of the Fleet House building, including the Public House, in approving the demolition of the building pursuant to planning permission 14/00254/FULMAJ granted on 2 April 2015 (the "**2015 Permission**"). Historic England was consulted on this application and raised no heritage considerations. The Planning and Transportation Committee report (dated 23 September 2014) found that the demolition of the building, including the Public House, was acceptable in heritage terms (paragraphs 42-52) and in particular that "*[t]he existing building is not considered to be of architectural merit and it does not make a positive contribution to the Fleet Street Conservation Area. Its demolition [is] acceptable*" (paragraph 48).

Evidence that the Public House furthers social wellbeing or social interests

24. The evidence from local residents, other individuals or groups comprises letters or emails from nine individuals. These establish that the Public House is used by the Friends of the Observer social group, by parishioners and choir members of St Bride's Church, and as an annual Christmas party venue by a television company which provides a Kent postal address. The Nomination also includes evidence of 27 private group bookings during the course of 2022. In the context of a City pub with a large catchment population, this cannot be considered a significant or sizeable local community whose social wellbeing and interests are furthered by the Public House.
25. It is again noteworthy that the existing Public House provides limited disability access with toilet facilities located on the mezzanine floor (stair access only) which is also the area bookable for private function uses. This lack of inclusiveness is also demonstrated by the fact that the Public House operates a smart dress code with this requirement displayed at the entrance to the premises – this may be perceived to be exclusionary and also suggests that the Public House is unlikely to accommodate community uses such as gatherings after social sport. Further, the

Public House only operates on weekdays and does not serve any community function over the weekend or contribute to the vibrancy or sense of community in the area or the weekend economy.

26. The Nomination also explains that a QR code at the bar counter allows customers to sign a petition in support of the ACV nomination, with 638 people having signed as at the date of the Nomination. The petition in fact is both to support the ACV nomination and object to the Planning Application, suggesting that the ACV nomination is motivated by opposition to the proposed redevelopment of the Property rather than any genuine community desire to bid for the Public House. In any event, with no further information about the signatories, the petition does not evidence that any of these customers regularly frequent the Public House and contribute to its community spirit. As noted in the Corporation's Guidelines, many pubs have a transient or variable user base rather than a core of regulars who derive particular social value from a particular public house. The Nomination does not show the Public House to be any different to the majority of pubs in the City in this regard. As noted above, the Public House is only open on weekdays and operates a smart dress code which reinforces that it is City workers rather than an identifiable local community who use the Public House.

Awards, recognitions, and recommendations

27. While the flower displays at the Public House have won several awards as part of the Flowers in the City campaign, the same campaign has issued a number of other awards to properties in a range of uses across the City such as office buildings and hotels. Awards for floral displays cannot therefore be said to relate uniquely to the public house use which is the subject of the Nomination and cannot carry weight in determining whether this use is of community value.
28. Beyond this, no evidence of awards or similar recognition is provided. The Cask Marque accreditation dated July 2014 submitted with the Nomination is a common industry accreditation (held by over 10,000 pubs according to the Cask Marque website) as is the Guinness quality approved accreditation. Neither of these are awards or a matter to which community value can be attached. Indeed, the Cask Marque is specific to the publican, rather than the public house at which it is displayed.

Evidence of long term use as a public house contributing to a sense of place for the community

29. In addition to the comments made above, we note that the Nomination relies heavily on the Public House having been operated by David Perkins and Karen Perkins for the past 17 years, suggesting that their service and attention to detail is unique in the area. While we question whether good friendly service by a particular pub landlord or landlady is a reason for land and buildings to be listed as an ACV in any event, in this case it should also be noted that the Public House lease to David and Karen Perkins will come to an end on 6 January 2023.
30. It is worth contextualising this point by noting that the tenants made a commercial decision to enter into the current Public House lease with an awareness and understanding that it was outside the Landlord and Tenant Act 1954 and limited to a term of 5 years commencing on 7 January 2018 (and also included a mutual rolling right to terminate the lease on not less than 3 months prior notice, although neither party exercised that right). The tenants have no legal right to renew the Public House lease or remain in occupation after 6 January 2023. The Nomination states that the tenants wish to continue to operate the Public House, suggesting that both the tenant's objection to the Planning Application and the Nomination itself may be part of a strategy to influence this independent commercial and legal agreement. The Corporation will be aware that this cannot be taken into account in determining either the Nomination or the Planning Application and that it would set a dangerous precedent to do so.
31. Beyond the service provided by the tenants, the Nomination simply asserts that people who use the Public House do so to come together for a drink, celebrate occasions like Christmas, or host events like leaving do's and birthdays. While the Public House has existed in its current form since the late 1950s / early 1960s, in these respects the Public House is no different to

any other public house in the country and we would suggest that this type of use carries little weight when assessing whether the Public House is of community value within the meaning of the Act.

Social and cultural associations with the local area

32. The Nomination outlines the social and cultural history of Fleet Street, including its association with the national press and the presence of St Brides Church and the St Brides Institute. The Public House is described as part of the "fabric" of the area, with the implication being that it has social and cultural value simply by virtue of being located near Fleet Street. We do not consider this can be a correct basis for listing the Public House as an ACV.
33. In contrast, in listing the Tipperary as an ACV (one of only two public houses to be listed as an ACV in the City of London) the Corporation found evidence of extensive social history "*on the site of the pub*", with the nomination demonstrating 575 years of use within a Grade II listed building and a great deal of social history published in books and articles, extracts of which were included with the nomination. In this case, the Nomination says little about the social and cultural history at the site of the Public House save for its purported association with the Cogers, which we have commented on above, and its use by the press which was undoubtedly the case for any public house in the Fleet Street area.

Sports and games competitions, representative teams, events, quiz nights, karaoke etc.

34. As noted above, and stated in the Nomination, the Public House does not host local sports and games competitions, field a representative pub team in local sports or games leagues, or run events such as quiz nights or karaoke.
35. This too is in contrast with the evidence that the Corporation has relied on in other cases. In listing the Still and Star (the other of the two public houses to be listed as an ACV in the City of London) the Corporation found evidence of 200 years use, with the public house hosting events such as summer BBQs and pub crawls; having a representative darts team playing in a local league; and participating in City of London community fairs as an example of a community pub. The Nomination's assertion that the Public House "is not the sort of public house" that does such things is an inadequate response to the requirement for ACV's to further the social wellbeing or social interests of the local community.

Is it realistic to think that there can continue to be use of the building or other land which will further the social wellbeing or social interests of the local community?

36. If the Corporation agrees that on balance the current use of the Public House does not further the social wellbeing or social interests of the local community, there is no need to consider whether future uses would be likely to do so. However, we would make the following comments about the evidence provided in the Nomination regarding the prospect of such future use.
 - a) The Nomination relies on the Public House having been used as a public house since 1895 as evidence that this use will continue into the future. As noted above, this is not supported by the historical records. The current Public House was constructed following the grant of planning consent for an office building including licensed premises in 1958 and there is no confirmed record of a public house at the Property prior to this date.
 - b) The Nomination also relies on the fact that the current tenants have been running the Public House for 17 years as evidence of this use continuing, stating that David Perkins and Karen Perkins wish to continue running the Public House for the local community. The Nomination does not mention that the Public House lease expires on 6 January 2023. It also does not accurately reflect the communications between the long leaseholder and tenants that have been held over a number of months beginning in May 2022. These discussions were undertaken in good faith and covered the possibility of a short extension to the lease to allow the Public House to trade uninterrupted over the Christmas holiday period and (on

the tenant's enquiry) the possibility of the tenants coming into the re-provided public house on completion of the redevelopment. Accordingly, the tenants have been aware of the long leaseholders proposals to re-provide a public house use and indeed, at one point in time, were amenable to trading from a newly provided unit forming part of the scheme which is the subject of the Planning Application. However, in both circumstances, the tenants did not proactively reach out to further explore such options beyond an initial conversation with the long leaseholder which was receptive to the same. While the long leaseholder remains happy to engage constructively on landlord and tenant matters, correspondence from the tenants dated 20 August 2022 ultimately notes that they will not require an extension to the lease and will vacate the Public House on 6 January 2023.

- c) The Nomination acknowledges that there is an existing planning permission to demolish the Public House but states that "the developer has not come forward to take forward such permission". The planning permission referred to is the 2015 Permission which authorised the demolition of Fleet House and St Brides Tavern and the erection of a replacement building consisting of 6,972 sq m of office floor space, two flexible retail units and one flexible retail / pub / office unit. There are no conditions in the 2015 Permission or obligation in the related planning agreement that require the re-provision of a public house use in the flexible unit should the development authorised by the 2015 Permission be progressed.
 - d) The Nomination gives the impression that no steps have been taken to progress the development authorised by the 2015 Permission but this is incorrect. All of the pre-commencement conditions attached to the 2015 Permission have been discharged through formal applications to the Corporation in its capacity as local planning authority and demolition works commenced pursuant to the 2015 Permission in early 2018. These works implemented the 2015 Permission, as confirmed by the certificate of lawfulness with reference number 21/00704/CLEUD granted on 19 October 2021 (the "**2021 CLEUD**"). Accordingly, the 2015 Permission remains extant and the development it authorises can continue to be built out and this remains a viable and deliverable option for the long leaseholder.
 - e) The Corporation's Guidelines state that the current owner's intentions are relevant when considering whether a future use will further the social wellbeing or social interests of the local community. In this case, the long leaseholder required the 2021 CLEUD to be obtained as a condition of its acquisition of the Property, as stated on the application form for the 2012 CLEUD. This evidences the long leaseholder's intention to progress with this development, including the demolition of the Public House, should the Planning Application be unsuccessful. The long leaseholder has instructed its planning consultants to continue to discharge the conditions of the 2015 Permission while the Planning Application is progressed to minimise any delays to the development programme. It has also implemented a vacant possession strategy. A break notice has been served by the long leaseholder to terminate the betting shop lease on 29 January 2023; the contractual terms of the office lease and the ground floor restaurant lease each expire on 31 December 2022 and these leases are outside the Landlord and Tenant Act 1954 (and in the case of the office lease the tenant has already exercised a tenant break terminating the lease on 30 November 2022); and the Public House lease expires on 6 January 2023 as noted above.
37. If the Planning Application is put to one side for separate consideration (as required by the Corporation's Guidelines and as a matter of law) the reality is that the current lease of the Public House will expire in January 2023 and will not be renewed and that there is a live planning permission for the demolition of the building including the Public House which is being actively taken forward. Neither the Nomination, nor any ACV designation which may follow from it, will change or have any bearing on this position. This makes it difficult to conclude that the Public House use, or another use which furthers social wellbeing or social interests of the local community, will continue to be carried out at the Public House site.

The Planning Application

38. The Corporation's Guidelines are clear that a pending planning application to end or change the current use should not be pre-judged in order to inform the ACV decision, as such a planning application will be subject to separate consideration. This applies to the Planning Application.
39. The Planning Application seeks permission to demolish the Public House. However, unlike the 2015 Permission, the Planning Application does not seek to end or change the current use of the Public House site. The Planning Application originally proposed a flexible public house / café / restaurant use at ground floor level. However, the long leaseholder has agreed to amend the Planning Application to expressly secure a public house at ground floor level and thus remove any ambiguity about the long leaseholder's intention to re-provide a public house use at the Property. The long leaseholder's proposals and commitment to re-providing a significantly enhanced public house use as part of the refurbishment and development proposed by the Planning Application also address London Plan policy HC7.
40. The amended description of development for the Planning Application is set out below and the draft proposals for the re-provided public house are attached as **Annex 3**. The long leaseholder understands that these amendments will be subject to re-consultation in the usual way, the timing of which is to be confirmed by the Corporation's planning officers.

*"Partial demolition of Fleet House and full demolition of St Bride's Tavern Public House (retention of basement levels) and the erection of a part replacement building with roof extension to provide an 8 storey building for office use (Class E) at levels 1-8, with office lobby (Class E) and commercial space (Class E) at ground floor and mezzanine level and **public house (sui generis) at ground floor and part basement level**; new pedestrian and servicing route from St Brides Lane to Bridewell Place."*

41. While the Planning Application must be determined without reference to the Nomination, we would ask that the Corporation notes the following attributes of the re-provided public house, particularly when considering the extent to which there will be a loss to the local community when the current Public House use ceases.
- a) Prominence: The proposed public house has 300% more ground floor frontage, including frontage to New Bridge Street, and also the proposed Bridewell place, helping to encourage increased trade.
 - b) Accessibility and inclusiveness: The public house will enjoy access positions to Bridewell Place, New Bridge street and Bridewell Passage. The public house will offer accessible access allowing customers and staff of all abilities to use the premises.
 - c) Enhanced area: The proposals see an uplift in total area by 100% over the existing public house, and increase in public area of over 200%.
 - d) Outside space: Access to Bridewell Place will offer off street covered outside space.
 - e) Accessible toilets: The proposed public house will provide toilets which are accessible.
 - f) WELL principles: The proposed public house will provide spaces designed around WELL principles, for the health benefits of staff and customers. This includes increasing floor to ceiling heights and natural daylight while minimising energy use.
 - g) Safety: The proposed public house will be serviced on site via a dedicated lay-by minimising disruption to the current street network while eliminating unsafe vehicle movements. The public house will meet current regulations including fire safety regulations.

- h) Sustainability: The proposed public house will be sustainable, built to meet modern fabric performance and low operational energy use.
42. The above demonstrates that the public house proposed by the Planning Application represents a significant improvement on the current Public House, including in terms of its potential to deliver economic, social, and cultural value to the local community.
43. For all of the reasons set out in this representation, we do not consider that the Public House meets the requirements for an ACV. The long leaseholder would be grateful if the Corporation would keep it informed of the progress of the Nomination and, subject to the outcome, reserves its position on seeking a listing review, making an appeal, or seeking compensation in accordance with the Act and Regulations.
44. Should the Corporation have any queries about this representation please do not hesitate to contact Emma Tait at e.tait@taylorwessing.com or 020 7300 4952.

Yours faithfully

Taylor Wessing LLP

ANNEX 1

Assessment of the Nomination against the requirements of the Act, Regulations, and the Corporation's Guidelines

Validity of nomination	Nomination
Description of the nominated land or building	The nomination provides a description of the public house and includes the land registry plan for the freehold title. The plan does not show that front of house public house use net internal area only occupies approximately 80 sq m. See para 8.
Information about freeholders, leaseholders and occupiers	The nomination includes the title register for the freehold title only. It does not identify the long leasehold interest. See para 12.
Reasons for nomination	The nomination provides reasons but it is not considered that these establish that the public house is of community value.
Evidence of the nominator's eligibility	The nomination provides details of a not for profit unincorporated body of 22 residents of the ward of Castle Baynard. The City of London Corporation should confirm that at least 21 of the members are registered on the February 2022 electoral ward list.
Status of the nominator and local connection	As above.
Location of the land or building	The Public House is located within the City of London.
Exemptions from designation	The Public House does not fall within the categories of exempted land uses under the Regulations.
Primary use of the land or building	The Public House use is not the primary use of the land or building. If notwithstanding the matters raised in this representation, any land or building is to be listed as an ACV this should be limited to the areas of actual public house use. See paras 9-10.
Actual or current use	The actual or current use of that part of the wider Property described at para 9 is as a public house.
Evidence of future use	It is not realistic to think that the current use will continue beyond January 2023. See paras 29-30 and 36. The long leaseholder has committed to re-providing a public house use. See paras 38-42.

Evidence of furthering social wellbeing or social interests	Nomination
Local community	The Nomination considers the local community to be workers, residents, and visitors. Letters or emails are provided from 9 individuals who are stated to form part of this local community. The public house otherwise appears to have a transient or variable user base, much like other public houses in the City. See para 26.
Evidence from local residents, other individuals or groups who use the public house that it furthers social wellbeing and social interest	<p>Letters or emails are provided from 9 individuals. These confirm that the public house is used by the Friends of the Observer social group, by parishioners and choir members of St Bride's Church, and as an annual Christmas party venue for a company the gives a Kent address.</p> <p>Extensive social history of the public house has been submitted, focussing on its fabled use by the Cogers. This is factually incorrect. See paras 21-23.</p>
Evidence from local Members and other community leaders that the public house furthers social wellbeing and social interest	The 21 local members include three Castle Baynard ward Councillors and one neighbouring ward Councillor.
Evidence of awards, recognitions and recommendations earned by the public house	The public house has won awards for its flower boxes. No other awards are disclosed. See paras 27-28.
Evidence of long term use as a public house contributing to sense of place for the local community	<p>The Public House currently at the site was built in the late 1950s / early 1960s. It has been run by the current tenants for 17 years. This lease will expire in January 2023 and is not being renewed. See para 29-30 and 36.</p> <p>The information submitted about the prior use of the site as a public house is inaccurate. See paras 21-23.</p>
Other social or cultural association with local area	The Nomination provides information about the social and cultural history of Fleet Street and the St Bride's Institute. This is not in itself evidence of the Public House's community value. See paras 32-33.
Evidence that the public house is well used as a venue for local sports and games competitions, e.g. pool, snooker, darts, dominoes, cards	None.
Fielding a representative 'pub team' in local sports or games leagues or other competitions, e.g. football, darts	None.

<p>Evidence that the public house is well used as a regular meeting venue for local clubs, societies, hobby groups, work-based groups and other special interest groups</p>	<p>Letters or emails are provided from 9 individuals. These confirm that the Public House is used by the Friends of the Observer social group, by parishioners and choir members of St Bride's Church, and as an annual Christmas party venue for a company based in Kent. Evidence is provided of 27 group bookings during 2022. This is not considered to amount to "well-used" in the context of a City pub. See paras 24-25.</p>
<p>Staging frequent events which meet the needs of local customers, e.g. quiz nights, karaoke, parties, etc.</p>	<p>None</p>
<p>Evidence that the public house is used as a venue for local community events and services, e.g. Community Toilet Scheme membership, party bookings, family occasions, room for hire, catering available.</p>	<p>The Public House has an upstairs function room. Evidence is provided of 27 group bookings during 2022. The Public House is not a member of the Community Toilet Scheme. The Public House does not serve food.</p>

ANNEX 2

Assessment of the Nomination against the CAMRA guidance on ACV nominations

CAMRA guidance – events	Examples / evidence in nomination
Live music events are often hosted at the pub which brings the community together. This also provides a platform for local music artists and contributes to the local area's culture.	None.
The pub hosts advertising for local events which encourages the community to come together to support local businesses.	None.
There are televisions screening sporting events enjoyed by patrons. This allows people in the community to come together to enjoy specific sporting events – providing a safe place to enjoy a drink and a specific sporting event for vulnerable members of society.	None but it is understood that the Public House screens some sporting events.
The pub hosts a regular quiz night which brings people together from a variety of different backgrounds; furthering the recreational interests of the community.	None.
A local beer festival offering a range of local beers is hosted at the pub. This helps support local businesses as well as bringing people from the community together.	None.
During election periods, the pub is used to host election hustings.	None.
The pub hosts a karaoke night which is enjoyed by people in the community.	None.
The pub takes part in events which raise money for local charities.	None.
CAMRA guidance – facilities	
There is a beer garden attached to the pub which is used and enjoyed by local people including families. This is particularly enjoyed in the summer months and brings different groups of people together.	None but some outside pavement seating is provided.
A children's play area for local families is available at the pub.	None.
The pub adjoins a sports field and users share the pub's facilities. This not only encourages local residents to take pride in their local area, but also provides more custom for the pub and allows people from different backgrounds to mix together.	None.

The pub has a great food menu enjoyed by the local community. (You can also mention whether there are any special food offers available for older people etc).	None. It is understood that the Public House does not serve food.
Free wifi is available for customers which allows people to access the internet that otherwise would not be able to. The pub therefore provides a vital facility for people wanting to use the pub for more than just a social event.	None, although the majority of establishments in the City offer wifi.
There is free parking available which is accessed by the wider community. This allows people to get to/from the pub safely when transport systems may be down. It also means that families can access the pub easily.	None.
There is good access for disabled people at the pub. This provides an easily accessible and inclusive space to meet with other members of the local community and provides a safe and enjoyable environment to be in furthering the persons individual wellbeing.	None. The Public House is not fully accessible or inclusive.
Meeting spaces are available for local community groups and charities to use.	None.
The pub provides other important local services to the community. (This could include a library, a post office, a local shop or any other service that is used at the local pub).	None.
The pub offers games such as a dart board, quiz machine, a pool table and board game which are enjoyed by the community.	None.
There are good transport links available to/from the pub. This means that elderly members of the community can easily and safely get to/from the pub. It also means that people from surrounding areas can easily access and enjoy the pubs facilities.	No specific evidence but all public houses in the City have good transport links.
CAMRA guidance - awards	
The pub has won a local award for the pubs services to the community.	The public house has won awards for its flower boxes. No other awards are disclosed.
The pub has won a national award for the pubs services to the community.	None.
The pub has been included in a tourist and local pub guide, which attracts more people to the pub from surrounding areas and communities which helps boost the local	None.

economy. It also puts the pub on the map as a pub worthy of recognition from the Council.	
The pub has been included in CAMRA's Good Beer Guide. CAMRA's good beer guide is a renowned book for promoting only the best local pubs.	None.
This pub is a member of CAMRA's LocAle, committed to serving locally produced real ales and meeting consumer demands for local produce.	None.
The pub has won an award for its commitment to raising money for local charity.	None.
CAMRA guidance – other ways a pub adds value	
The pub sponsors a team which represents it in sports leagues furthering the sporting interests of the community.	None.
The pub has special value to local heritage and culture which should be protected. The pubs heritage forms an important part of the community's historic and cultural identity. This furthers the cultural interest of the community, as traditional pubs of architectural value are becoming rarer.	The nomination incorrectly states that the Cogers debating society was formed in a public house on this site. Evidence is given of the social and cultural history of Fleet Street generally but this does not equate to the Public House having community value.
The local MP often uses the pub to hold constituency surgeries or meetings.	None.
The pub provides training and development for employees which is increases individual wellbeing and supports people's professional development.	None.
There are no other facilities in the area that provide the array of activities that this specific pub does.	None. The Public House provides few facilities beyond a drinking space. There are c.200 other drinking establishments in the City, including seven other pubs within 200 metres.
The pub enables local people to meet and socialise in a welcoming environment which, individually, they find rewarding and enjoyable. Such social interaction is also in the interests of the locality as a whole as it encourages community cohesion and a collective sense of well-being.	Letters or emails are provided from 9 individuals. These confirm that the Public House is used by the Friends of the Observer social group, by parishioners and choir members of St Bride's Church, and as an annual Christmas party venue for a company based in Kent. Evidence is provided of 27 group bookings during 2022. This is limited in the context of a City pub.
The pub enables local people to enjoy a range of drinks (and food) in a pleasant, convivial atmosphere, which furthers their individual well-being.	See above.

The local neighbourhood watch scheme is coordinated by the pub which forms an important part of community life.	None.
This is the only pub in the village.	There are c.200 other drinking establishments in the City including seven other pubs within 200 metres.

Note: The CAMRA guidance can be found at the link below.

<https://www1-camra.s3.eu-west-1.amazonaws.com/wp-content/uploads/2019/04/15093103/What-to-include-in-ACV-nominations-CAMRA-Factsheet.pdf>

ANNEX 3

Proposed re-provision of a public house use at the Property

DRAFT

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Fleet House

8-12 New Bridge Street

Public House Reprovision Strategy

14.11.22

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1.	Executive Summary	
2.	Policy Statement	
3.	Criteria for Defining a Pub	
4.	The Design Proposals	
4.1	Context :	The Existing Public House Site History
4.2	Proposals :	The Proposed Areas Public House Operational Diagram Indicative Layouts
5.	Servicing Strategy	
6.	Commercial Feedback	

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1.0 Executive Summary

This document has been prepared to provide further clarification and substance to the intended public provision as part of proposals by Fleet House Development Limited to deep refurbish the property known as “Fleet House”, 8 – 12 New Bridge Street, London EC4V 6AL.

As noted, the intention is to re-provide a public house on site which enhances the accessibility, prominence/frontage, versatility and floor-area of the pub. The proposals outlined herein protect the function and operational distinction of the use whilst also being complementary to the wider workspace plans which form part of this application. It is worth highlighting that this application will continue to provide a pub at this property, unlike the implemented planning permission (14/00254/FULMAJ) which is subject to a Certificate of Lawfulness (21/00704/CLEUD) determined on 19th October 2021. Guiding our review of the subject proposals are the following planning policies and considerations:

London Plan (2021) Policy HC7: This seeks to protect those public houses which are determined to possess heritage, economic, social or cultural value. Notwithstanding the substantiated merits of each of these criteria, it should be noted that a pub is not being lost but it is being re-provided. As such, the cultural, economic and social value that public houses can provide, will have the ability to be maintained on the site to the benefit of workers, users and the City as a whole. The proposals therefore are in line with Policy HC7. An initial assessment of the of the pub against HC7 was set out in the pub note submitted with the planning application – this did not find any evidence that the pub is of any heritage, cultural, economic or social value that warrants protection of the St Bride’s Tavern building itself.

The existing pub was constructed in 1958. As concluded by the Heritage Report that accompanies the planning application – and notwithstanding third-party suggestions to the contrary, the evidence-based

assessment of heritage value for the present building is simply not met. This is further validated by the fact that the City of London’s planning committee has already determined on the heritage and general status of the building elements which constitute the present St Bride’s Tavern in its decision to consent to its demolition under the implemented consent (14/00254/FULMAJ). Notwithstanding this, the Applicant has been and remains keen to work with the City of London in considering the recent adoption of the London Plan 2021 and its policy base (namely HC7) – to this end, it is proposed to re-provide an enhanced public house which brings lasting benefits to the area and is not incongruent with the wider re-development .

Planning Authority Feedback:

The application submitted by the Applicant intended to remain consistent with the principles of the permitted 2014 scheme (in terms of its definition and treatment of the ground floor activities). Within this submission, and the development description itself, the option to re-provide a pub was not dismissed – however it sought flexibility as per the previous consent.

Since our submission, the City of London has provided new and additional feedback which the Applicant has reflected on - we now detail herein how additional elements could be incorporated into the pub function to further reinforce confidence around continued presence at this location; and wider scheme are set out further in this note.

1.0 Executive Summary

Criteria For Defining A Pub

In order to be clear that a public house use is providing the essential features characteristic of a pub – and in the absence of any statutory guidance, the Application has referred to the Campaign for Real Ale (CAMRA) and its industry sourced definition of what qualifies as a public house.

For clarity, CAMRA is an independent voluntary consumer organisation headquartered in St Albans, England, which promotes traditional British pubs and clubs. With just under 160,000 members, it is the largest single-issue consumer group in the UK, and is a founding member of the European Beer Consumers Union (EBCU).

CAMRA's campaigns include promoting small brewing and pub businesses, reforming licensing laws, reducing tax on beer, and stopping continued consolidation among local British brewers. It also makes an effort to promote less common varieties of beer, including stout, porter, and mild as well as traditional cider and perry.

CAMRA is organised on a federal basis, over 200 local branches, each covering a particular geographical area of the UK, that contribute to the central body of the organisation based in St Albans. It is governed by a National Executive, made up of 12 voluntary unpaid directors elected by the membership.

The aforementioned CAMRA definition has been the basis of engagement for the Applicant and the City of London's planning case officers. As a result of these discussions, the CAMRA definition has been used as a basis for establishing a criteria for pubs (please see below) which has been accepted by the City of London as an appropriate reference point.

These key elements of a pub will all be included in the re-provided public house space in Fleet House. In addition, the description of development is to be updated to refer to 'public house (sui generis) at ground floor level and part basement level'.

1. Be open to and welcome the general public without requiring membership and without charging for admission;
2. Allow drinking without requiring food to be consumed, with no more than 50% of the floorspace laid out for meals;
3. Allow customers to buy drinks at a bar without relying on table service;
4. Primarily serve food and drink for consumption on the premises;
5. Any room or area for hire should not prevent the simultaneous use of the premises by the public;
6. Function as a self-contained premises, with a separate access from the street; and
7. Have a character and appearance that distinguishes it from the office building.

A comparison of the existing public house and proposed public house is provided within this document to illustrate clearly our correspondence to the definition, as well as to demonstrate the positive enhancements being introduced by the proposals. It should be noted, that these plans – in addition to the above guidance – have also been developed with advice from established food, beverage and leisure agency specialists: Knight Frank Retail and Hooper Commercial.

Both agencies act with and on behalf of established operators in the sector and have guided the design response to reflect the requirements they are seeing in the market at present but also trends going forward. In the appendix, we have re-provided a guidance note from Hooper Commercial on the use, unit and location.

1.0 Executive Summary

Headline Characteristics of the Re-provided Pub

The design information from HOK will illustrate the detail of the proposed unit throughout this document.

Please note, that finalised layouts and finishes will remain subject to Operator input at the next stage of design development – however, the space planning provided offers an informed indication of how layouts could be organised.

Description: as a direct comparison to the present St Bride's Tavern, the re-provided unit provides an enhanced footprint and frontage to the public house. The proposed public house will offer 315 sqm NIA compared to the current 177.5 sq m existing .

The new public house layout has been developed with input from commercial advisors active and expert in the sector. This has helped to establish space planning principles including balance of front of house and back of house space, on site kitchen, storage facilities, staff welfare provision, minimising levels and maximising frontage potential. The final arrangements will be subject to detailed design and operator input – however we have sought to demonstrate sufficient allocation of space/arrangements within the identified demise to allow a variety of prospective public house operators successfully deliver a critical mass of viable and accessible activity.

The pub will have 3 entrances: a main address on Bridewell Place (primary); New Bridge Street (primary); and to the proposed Bridewell Passageway (secondary) – which allows for covered spill out space.

An inclusive, active and generous ground floor to the Public House is proposed – this includes for a dynamic and attractive floor-to-ceiling height fronting New Bridge Street and inspired by other London-based modern public house offers such as:

- Little Creatures, Regent's Canal – micro-brewery style pub with dining and leisure features.
- Caravan City, Bloomberg Arcade, London EC4
- Brewdog, Tower Hill

Operationally the pub space has been carefully considered but importantly ensuring that sufficient flexibility can be allowed for the specific requirements of various operators. Indicative ground floor and basement layouts are provided alongside suggestive views of the new pub space.

A variety of internal front of house spaces in the public house have been identified including standing areas, table seating and perimeter space. In addition, there is space in the basement area which has the potential to be hired out as a bookable room.

Improvements to the pub include:

- Enhanced frontage – triple the existing frontage with strong corner and New Bridge Street prominence;
- Larger front of house spaces on display;
- Enhanced accessibility (New Bridge Street, Bridewell Place, Bridewell Passage);
- Inclusive: Level access at two entrances;
- Versatility: Covered external space on site;
- Active frontage: Openable windows along Bridewell Place;
- Identity: signage (4 bays of signage);
- Designed with WELL Principles (more natural daylight, views and greenery);
- Safer: Contained on site, not pavement spill out required; and
- Enhanced servicing: Dedicated on site service strategy, no potentially unsafe or uncontrolled truck movements.

1.0 Executive Summary

Benchmarks are provided of modern pubs in the City to and Central London looking for both exterior and interior design – as well as how the space works in the day and night.

It is understood the new public house needs to work within the overall building design and as such elements have been incorporated into the design to make the building appear coherent with the rest of the building whilst giving it a clear identity to the streetscape.

To clarify the function of the pub in terms of appearance, design elements has been incorporated including:

- Contrasting columns with reveal glazed bricks,
- Smaller openable windows, band signage to both Bridewell Place and New Bridge Street,

Planters to the plinth and recessed entrance doors.

A safe off-street servicing strategy is proposed.

An overview of arrangements is provided in this note.

A note from commercial agents is provided. This confirms the appropriateness of the location which is prominent and attractive to the market. Comments on the existing public house is also provided, it is noted this doesn't sit with modern pub/restaurant requirements from an operating area or a level access basis; neither does it have the quintessential historic pub ambience that the tourist market seek out.

In terms of the proposed public house, the commercial agent confirms the prominent corner position of the new public house and a light and airy frontage is considered the right approach. Further detailing is also set out, such as ground level openable windows, planters and safe zones for customers to engage the outdoors would soften the urban alley feel of both Bridewell Place and New Bridge Street thus helping to identify the establishment.

Commercial commentary is provided on potential operators for the space, confirming compatibility.

Comment is also provided confirming that it is not deemed necessary for residential accommodation to be included in a viable modern pub.

In summary, the use of the site as a place to meet and drink will continue on the site, but in a contemporary and more sustainable form. It will continue to provide a space for bringing people together and supporting social cohesion in the community it serves. The proposals align positively with Policy HC7 and secure a public house use on the site for the future that will help enrichen the area economically, culturally and socially.

2.0 Policy Statement

The intention is to provide a public house on site that re-provides and improves on what is there currently. London Plan (2021) Policy HC7 seeks to protect public houses, which are of heritage, economic, social or cultural value. According to the policy a planning application that proposes a loss of a public house within London should be refused unless, there is authoritative marketing evidence demonstrating there is no realistic prospect of the building being used as a pub in the future.

The policy is organised in two parts. Firstly, there is a requirement to establish whether the pub is of value. If it is, then (and only then) is the pub afforded protection by the policy. If a pub of value pursuant to HC7 is to be lost, the second part of the policy then comes in to play. It directs refusal unless authoritative marketing evidence for 2 years is provided.

Draft policy CV1 (Protection of Existing Visitor, Arts and Cultural Facilities) of the emerging City Plan also provides guidance on protection of cultural facilities to maintain the City's unique cultural heritage.

Examples of such facilities include, public houses which have a heritage, cultural, economic or social value to local communities. Policy CV1 states that the City Corporation will resist the loss of existing visitor, arts, heritage and cultural facilities, unless replacement facilities of at least equivalent quality are provided on-site or within the vicinity which meet the needs of the City's communities.

In this instance, a pub is not being lost but it is instead being re-provided. The cultural, economic and social value public houses provide, will therefore be maintained on the site – to the benefit of workers, users and the City as a whole. The proposals therefore are in line with Policy HC7 and emerging Policy CV1.

The supporting text of the Policy HC7 provides guidance on the policy. Paragraphs 7.7.6 sets out considerations for assessing pubs of heritage, cultural, economic or social value should be assessed. City of London also use assessment criteria for Assets of Community Value to assess the value of public houses. An initial assessment of the pub against these criteria was set out in the pub note submitted with the planning application – this did not find any evidence that the pub is of any heritage, cultural, economic or social value

that warrants protection of the St Bride's Tavern building itself.

Notwithstanding this, since the application was submitted, feedback has been received which is relevant to considering whether the pub is of value. Responses have been sent by users and operators of the pub; and others in the community. The feedback is summarised as follows:

- There may have been a pub called the White Bear or "Cogers Hall" on this site dating back to 1794, that was demolished in 1895;
- The pub is valued by users with welcoming bar staff where patrons can socialise mix and support one another;
- Provides 'facilities' and 'sense of community and social cohesion' for those that live and work around;
- The existing pub has a positive day & evening trade & activity pub including delicious home-cooked food;
- Pubs like St Bride's encourage workers to return and contribute to the economy and the City;
- Valued by workers of major financial institutions as a social hub;
- Previous use historically of the public house by Fleet Street journalists;
- Warm and welcoming frontage with flowers and outdoor seating on the pavement;
- A room that can be made available for hire for private events, it is also used as another area for drinkers when the pub is busy throughout the year;
- Proximity to St Bride's Church and Bridewell Theatre;
- The Christopher Wren "wedding-cake-spire" sign was noted by one respondent as a tourist attraction;
- Caters for social wellbeing and social interest, rather than just another chain coffee shop; and
- Sustains and enhances the area with its unique charm and character.

2.0 Policy Statement

The existing pub was constructed in 1958. As concluded by the heritage report that accompanies the planning application the building itself is not of heritage value. It is acknowledged however that the site may have had an association with a public house dating back further – albeit as set out in the heritage report no evidence of this has been found on historic maps.

Regardless, the use of the site a place to meet and drink will continue, but in a contemporary and more sustainable form. It will continue to provide a space for bringing people together and supporting social cohesion in the community it serves.

The connections with the Fleet Street journalism is already recognised and celebrated in the building design. As set out in the Design and Access Statement and Cultural Plan this confirms that conceptually architects HOK have approached the identity of the building through elevations which represent newspapers grid and gutter. The legacy of the Fleet Street publishing is therefore positively embedded in the building design.

The applicant is keen to work to reprovide an improved public house which brings lasting benefits to the area. Reflecting feedback and to reprovide a public house with cultural and social value, there is potential to incorporate:

1. Provision of space that has the ability to be used for community events;
2. A characterful building with pub features incorporated;
3. Opportunity to enhance access to Bridewell Theatre and potential to celebrate and support its work with features in the Bridewell Passage artwall and use of space for events;
4. Opportunities for generous planting and flowers outside;
5. Opportunity to create a more inclusive pub for the community with level access;
6. A high quality covered outdoor spill out space; and
7. A space to provide a quality food and beverage offer.

Further details of how these elements can be incorporated into the pub and wider scheme are set out further in this note; alongside details of how the new public house is a betterment of the existing pub.

In summary, the public house use is not being lost but reprovided in an enhanced way. The proposals align positively with Policy HC7 and secure a public house use on the site for the future that will enrich the area economically, culturally and socially.

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3.0 Criteria for defining a pub

To be clear that a public house is being reprovided essential features have been identified. The definition of the public house has been derived from the CAMRA's definition, in discussion with City of London. The approach seeks to differentiate a 'pub' from other on-trade licensed premises where alcohol is sold. These key criteria of a pub, set out below, are all to be included in the re-provided public house space in Fleet House.

1. Be open to and welcome the general public without requiring membership and without charging for admission;
 2. Allow drinking without requiring food to be consumed, with no more than 50% of the floorspace laid out for meals;
 3. Allow customers to buy drinks at a bar without relying on table service;
4. Primarily serve food and drink for consumption on the premises;
5. Any room or area for hire should not prevent the simultaneous use of the premises by the public;
6. Function as a self-contained premises, with a separate access from the street; and
7. Have a character and appearance that distinguishes it from the office building.

The use class order refers to part p 'a public house, wine bar, or drinking establishment' as no class specified i.e. sui generis. The applicant would be looking for a permission which enables the same flexibility as is permitted by the General Permitted Development Order 2015 (as amended). In this regard it is noted that permitted development under Class AA also enables a public house to change to a part (q) 'as a drinking establishment with expanded food provision' and back again without the need for planning permission or prior approval. Indeed the expanded food provision is a noted part of the existing public house.

On the basis of the above, the following description of development should apply:

Partial demolition of Fleet House and full demolition of St Bride's Tavern Public house (retention of basement levels) and the erection of a part replacement building with roof extension to provide an 8 storey building for office use (Class E) at levels 1-8, with office lobby (Class E) and commercial space (Class E) at ground floor and mezzanine level, and public house (sui generis) at ground floor level and part basement level; new pedestrian and servicing route from St Brides Lane to Bridewell Place.

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Design Response

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4.0 Design Document

The following pages summarise the proposals for the Public House

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Context : Site History

Site History

The accompanying Heritage Report clearly demonstrates that no Public House occupied the site until mid to late 1950's, when the current site buildings were constructed. The history of the site is highlighted on pages 8-13 of the Heritage Report.

Below is an extract from the Insurance Plan of City of London Vol. II: sheet 32 1886. It further confirms no 'White Bear' Public house occupied the site. The Pub mis represented was demolished in 1895 and at the address of 15 Bride Lane. The map below shows a Police Station occupied the site, which is also shown in the O.S.Map of 1895 as highlighted in figure 4 of the Heritage Report.

Extract of 'Insurance Plan of City of London Vol. II: sheet 32 1886'

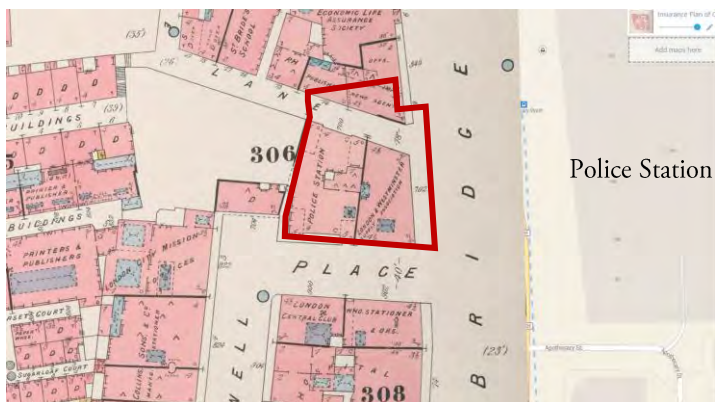


Figure 4: Ordnance Survey Map 1895

2.19 By 1951 the whole site had been cleared – possibly due to bomb damage. The existing building was constructed in 1958.



Figure 5: Ordnance Survey Map 1951

2.20 Significantly this shows there was no pub on the site by 1895. – on the contrary, the site of the pub was the site of the Police Station.

Extract from Heritage Townscape Report as submitted with Application

Context : The Existing Public House

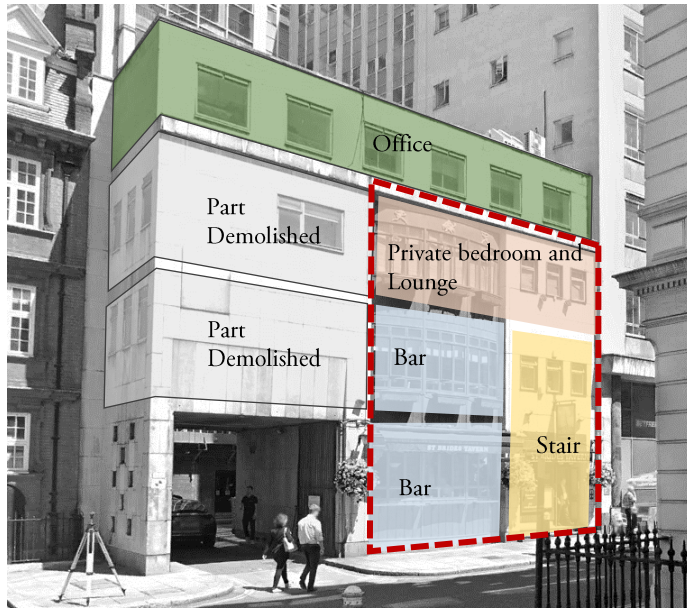
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Existing Building and Functional Distribution

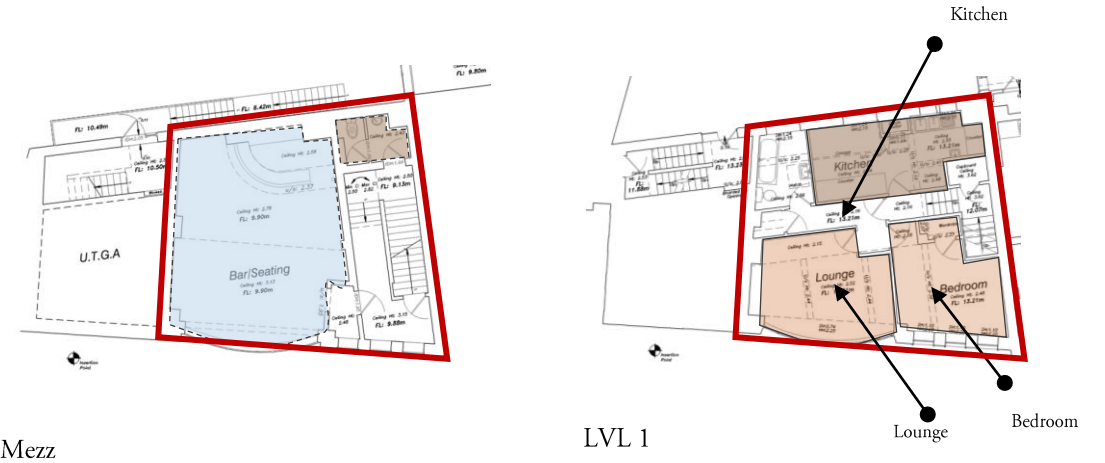
- The Public House is not the 4 storey building to Bridewell Place.
- The tenant agreement is the lease and is the Redline as shown.
- The Public offer is located at Ground and Mezzanine Only (80m2 in total)
- There is no level access to the public house
- Only two public toilets are provided, accessed from mezzanine stair landing
- Living accommodation for the tenants is at level 1. No public functions at this level.
- Office use at Level 2, as a continuation of the office level 2 floorplate
- Servicing occurs by reversing into the Service yard, with kegs dropped down an access hatch
- 40% of the Public House Tenancy area is dedicated to vertical circulation.

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Existing Building and Functional Distribution
Public House Lease Area Expires Jan 2023



Bridewell Place View

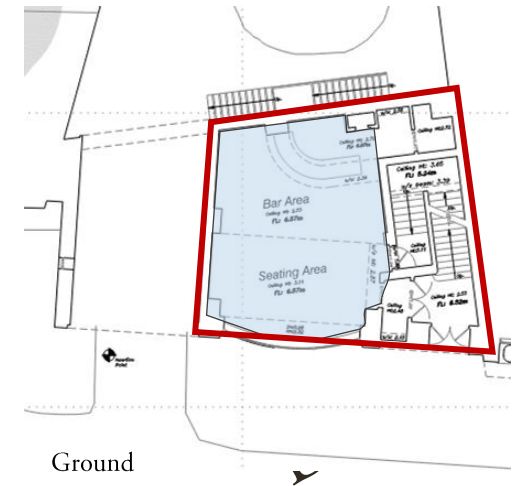


Mezz

LVL 1



Basement



Ground

Plans from Building Survey August 2022

Context : The Proposed Public House

We are proposing a much larger and more prominent Public House, compared to the existing St Brides Tavern Public House.

The indicative areas have been developed through discussions with specialist agencies who represent a number of operators active in the pub sector, and other agents, each with their own requirements. Layouts will need to be developed with the specific operator in due course, however some general rules of thumb have been established:

- A 60-40% FOH vs BOH is preferred
- On site Kitchen is preferred
- Adequate storage facilities
- Staff welfare provision
- Minimise number of Levels
- Maximise Frontage potential

We are proposing a vast increase in the amount of both Back of House as well as Front of house areas. The ground floor Front of house area (162m²) is more than double the whole of the existing Public house combined Front of House area (80m²)

Areas (m²) of usable spaces (not including staircases)

Proposed		B	G		
FOH	293m ²	80	162	-	-
BOH	48m ²	73			
Total NIA	315m²				
Existing		B1	G	M	Lvl 1
FOH	80m ²		40	40	
BOH	58.5m ²	37	4	3.5	14
Residential :	39m ²				
Total NIA	177.5m²			39	

Proposed



Ground



Basement

Existing as Surveyed

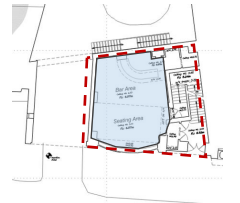
LVL 1



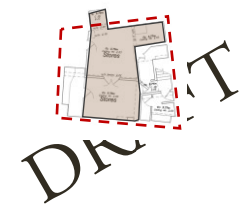
Mezz



Ground



Basement



Public House Operational Diagram

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The Public House operational Diagram opposite has been created to better understand the flow of spaces, their requirements on servicing and how these can work independently to the main Office building.

Multiple Entrances

The proposed Public House will operate 3 Entrances:

- Main Address will be to Bridewell Place, in a similar place to the current St Brides Public House
- An entrance is proposed to New Bridge Street. This Entrance is stepped and welcomes trade along this busy pedestrian corridor.
- An entrance is proposed to the Proposed Bridewell Passageway. This entrance / Exit allows covered external spill out space in suitable periods.

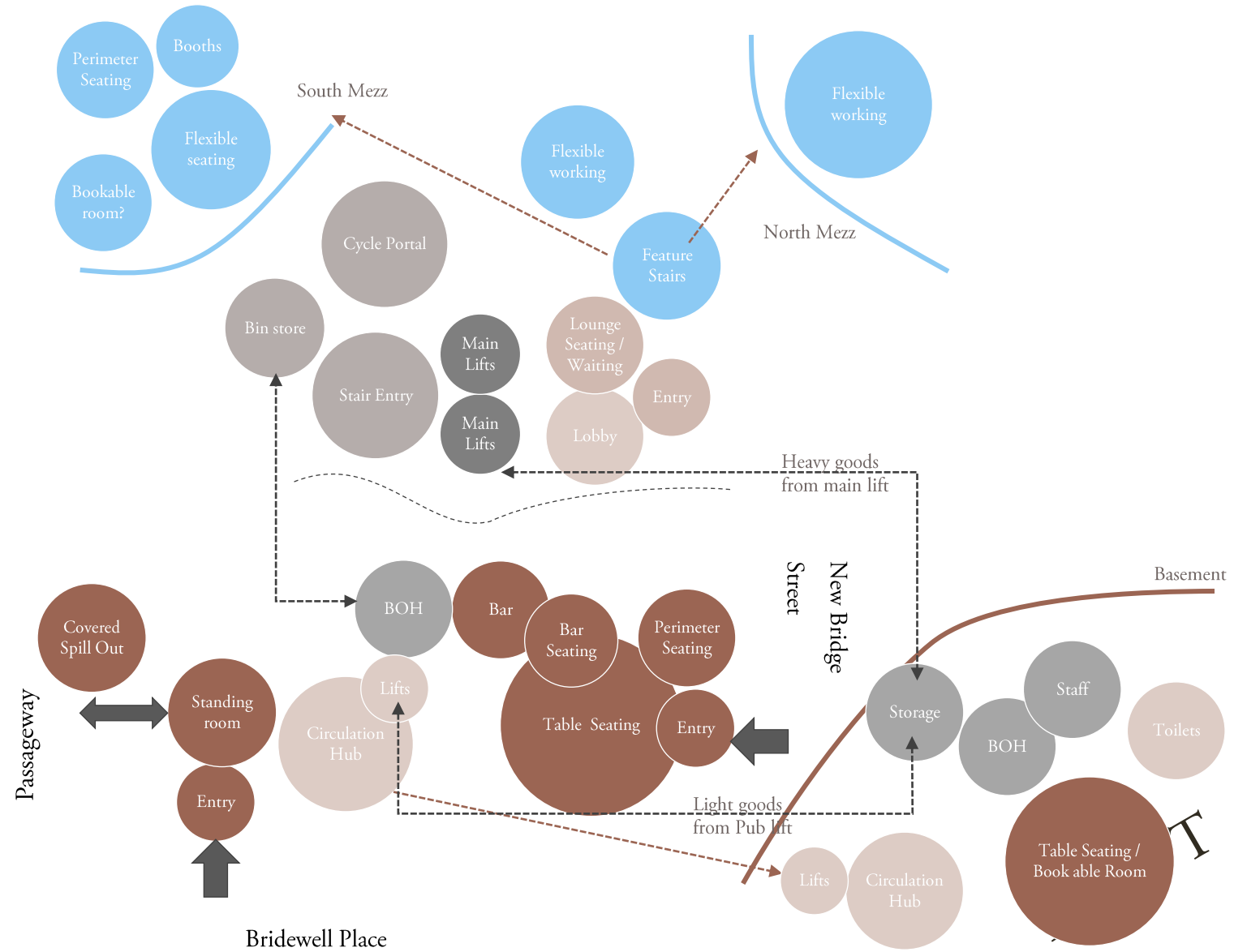
Variety in Front of House Spaces

We have developed a variety of front of house spaces :

- Standing areas : Located adjacent to the Bridewell Place entrance
- Table Seating : Located to the centre of the main double height space
- Perimeter seating : Animating the south and eastern facades adjacent to the glazing line
- Function Room : The basement area can be separated from the ground floor and hired out as a bookable room if required.

Servicing

The servicing strategy will be explained in the last chapter of this report.



The Proposals : Improvements

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Enhanced Frontage : Corner prominence



Increased Active & Larger FOH spaces on display



Enhanced Accessibility (New Bridge Street, Bridewell Place, Bridewell Passage)



Inclusive : Level access to two entrances



Versatility : Covered external space on site



Active frontage : Openable windows to Bridewell Place



Identity : signage (4 bays of signage)



Designed with WELL Principles (more daylight, Views and Greenery)



Safer : Contained on site, not pavement spill out required



Enhanced servicing : Dedicated on site service strategy , no illegal truck movements



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The Proposals : Ground Floor

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We are proposing an inclusive, active and generous ground floor to the Public House.

Lower Ground

Situated 850mm below the existing ground floor level on new Bridge Street the Lower ground provides level access to the Public House from Bridewell Place and the proposed passageway. The space is long in proportions and is envisaged as a standing bar area. The area contains the stairs and platform lift down to B1, as well as the short run of stair to access the Ground Floor.

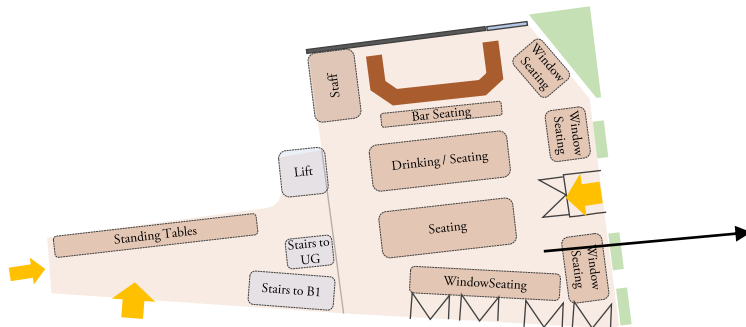
Ground Floor

The ground floor area is envisaged as a double height space with perimeter glazed façade. Access into the space is from the Lower Ground floor (via the steps or the lift,) or from New Bridge Street Via a proposed door, recessed from the Street Façade.

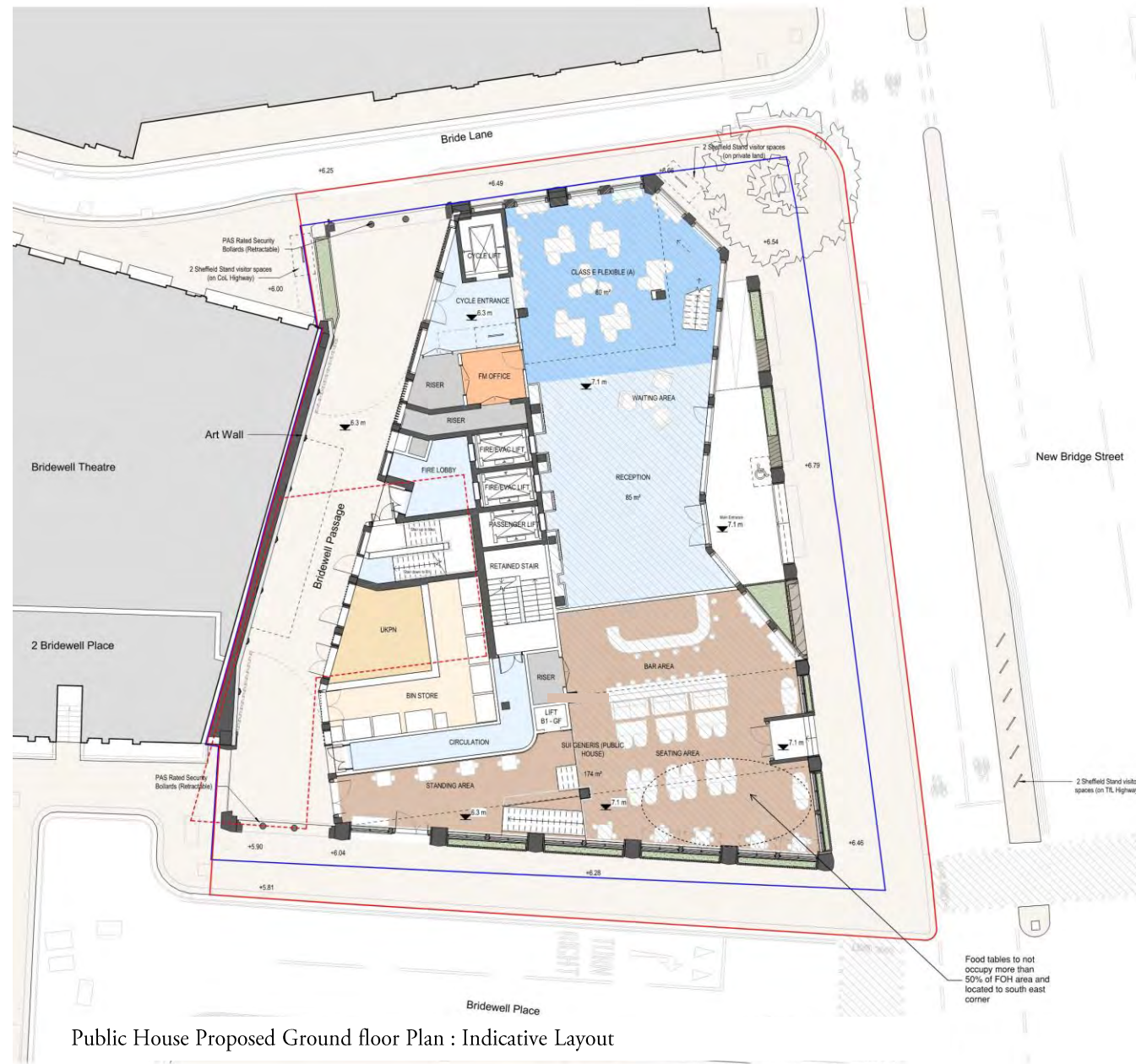
The ground floor is highly visible and aims to attract trade from New Bridge street, while openable windows are proposed to the southern elevation facing Bridewell Place.

The space is envisaged as having a large bar situated against the party wall dividing the space from the Office Lobby. A variety of seating is expected within the space.

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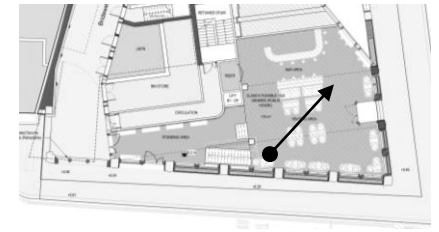
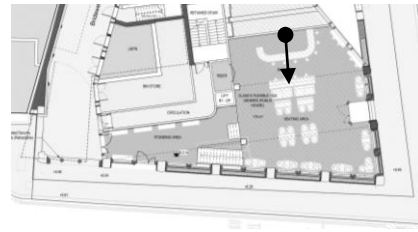
Food tables not anticipated to more than 50% of the FOH area and positioned to the South East corner of the plan.



Public House Proposed Ground floor Plan : Indicative Layout

The Proposals : Ground Floor

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Public House Proposed Ground floor View : Indicative Layout



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Public House Proposed Ground floor View : Indicative Layout

The Proposals : Basement Floor

Basement Floor

DRAFT

The basement 1 level has been designed to accommodate back of house, amenity as well as front of house facilities.

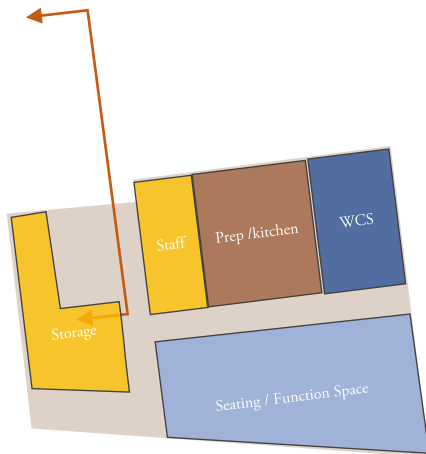
The indicative layout allows public to access the floor via the open staircase or the dedicated platform lift, making this level inclusive for all visitors.

Large area of the basement is provided for Back of house areas such as Storage, Prep Area / Kitchen as well as staff welfare facilities.

Public toilets are located at this level and will include a disabled wc.

The layout allows the public house access to the main building service lift for heavy items if required during servicing times.

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Public House Proposed Basement floor Plan : Indicative Layout

Benchmarking

A range of Public Houses have been identified and studied within the City of London and Central London. It is clear that there is no defined criteria for what a modern pub should look like. There is no design guide from the City of London for Public Houses.

Exterior Design

Generally a Public House will be influenced by the particular operator as to the overall identity. Adequate signage zone, clear entrance door expression and to some extent planting help to define the Public House over other uses.

Interior Design

A move away from poor lit low ceiling spaces in favour of light filled, spacious interiors allows operators greater attraction of customers for a wider variety of functions. Flexible working habits mean pubs are becoming used by more people for more diverse requirements.

Day and Evening

The Public House has a role to play throughout the day and into the evening. We believe the space should feel open occupied in the morning and into the early evening, and reinforce the reason for returning to the City.



Little Creatures



The Vintry



The Paternoster



Other examples of modern drinking and food establishments



Ekte Bloomberg



Caravan City : Bloomberg



Brew Dog Tower Hill

Benchmarking : Identity

A range of Public Houses have been re-provided in various developments recently in the City. Three examples below highlights different ways this has been achieved.

In the White Swan and Still and Star, the proposed Pub echo's the contrast found in the existing pub expression. Its worth noting the Still and Star is a Victorian pub and as such is a building of architectural merit.

The Hack and Hop Pub is Grade 2 listed and the development is consented to re-provide this within another Grade 2 listed building.

The existing St Brides Tavern is in the same building material as the main office building, and highlights are picked up in contrast in metal.



1.
The White Swan Pub .
1950s brick built Pub, Dark green contrasting base to buff brick body.
Pub re-provided into Blue brick building (Pub and 4 storeys of office above treated the same).



2.
Still and Star Aldgate
'Dating back to the 1800s, the unassuming pub is a rare remaining working-class pub in the City' _ Victorian Society
Black contrasting base with white body.
Redevelopment : Pub re-provided into Green brick building



3.
Hack and Hop Pub on Whitefriars Street.
Grade 2 listed
Redevelopment : Pub re-provided into Existing Listed building.



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Fleet House

8-12 New Bridge Street

Design Development

08.11.22

DRAFT

Appearance

City of London Feedback 28.10.22

Re-provision of the pub:

Character

- What is proposed is not as distinctive as the existing St Bride's Tavern, and is not considered to be immediately identifiable as a pub.
- The St Bride's Tavern is a focal point of the street scene, visible and prominent on both New Bridge Street and Bridewell Place
- It has a striking presence and character which we do not consider is being replicated in the proposals
- Classic and historic London pubs are designed with a distinct appearance which grabs your attention and invites you inside This is evident in the façade design of the St Bride's Tavern. In addition, the pubs in the Fleet Street Conservation Area are distinct and identifiable, with their own intrinsic character sharing numerous common tropes.
- The current pub has large bay windows, traditional polished brass lanterns, awnings, timber openable windows, timber-brass shelves, hanging baskets and idiosyncratic brass reliefs offer distinction and a clear civic-ness which is absent in the current proposal. We do not expect these features to be replicated in facsimile but would require the proposed pub to have its own distinct character.
- The loss of the distinct pub does not preserve or enhance the character, appearance, and significance of the Conservation Area, and we therefore need to ensure that the proposed public house makes an equal contribution to the character and appearance of the Conservation Area.

- In addition, the proposals lose the flat above the pub and the function room. It has not yet been completely demonstrated how the proposed pub use would support functions / events in lieu of this (further details on engagement with Bridewell Theatre TBC and should be captured in the culture plan)
- The above points are supported by draft policy CV1 of the draft city of London local plan

Façade & Active Frontage:

- The fenestration still reads as an extension of the office block – revising the design of the windows is critical to creating a design which counts as re-providing what is on site at the moment
- The fascia panels don't align and look uncomfortable (they are at different heights in the southeast and southwest corners – please see attached image). The design of the fascias, panels & windows should be taken further to create a distinct identity which reflects the character and appearance of a pub
- You have expressed a desire to not include lanterns and hanging plants – we think these are relatively light touch alterations which would enhance its appearance and character
- The green brick meets the soffit/slab uncomfortably. The green brick should be extended up to the soffit (see attached image)
- The proposed project signage design is underwhelming. If this is the preferred approach the projecting signs should be limited to 1 sign per elevation. We originally envisaged the projecting signs being designed and expressed in a unique way, similar to the existing pub

Public Realm:

- The proposed scheme represents a loss of active frontage with the removal of retail units and the St Bride's Tavern. We therefore expect the proposed active frontages to make a significant contribution to the surrounding public realm, and have a responsive design which supports the proposed use and accommodates the pubs function
- As previously expressed, the planters may become a magnet for rubbish. People spilling out onto the street to drink is inevitable, and should therefore the impact of that should be accommodated into the design.
- An external bar/drink rest or seating would help accommodate outside drinking
- Informally designated outdoor seating as a matter in enhancing the pavement conditions for pedestrians too, spill out space in the existing pub contributes positively to the vibrancy of the street scene
- This is supported by policies D3 and D8 of the London Plan:

Next steps:

Revisit the design of windows, fascia panels and quirky details such as lanterns, planters and signage to create a compelling pub elevation.

Fleet Street Conservation Area : Public Houses

1



St Bride's Tavern

5



The Old Bell Tavern

2



The Albion

6



Ye Olde Cheshire Cheese Fleet

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The Punch Tavern

7



The Editors Tap

4

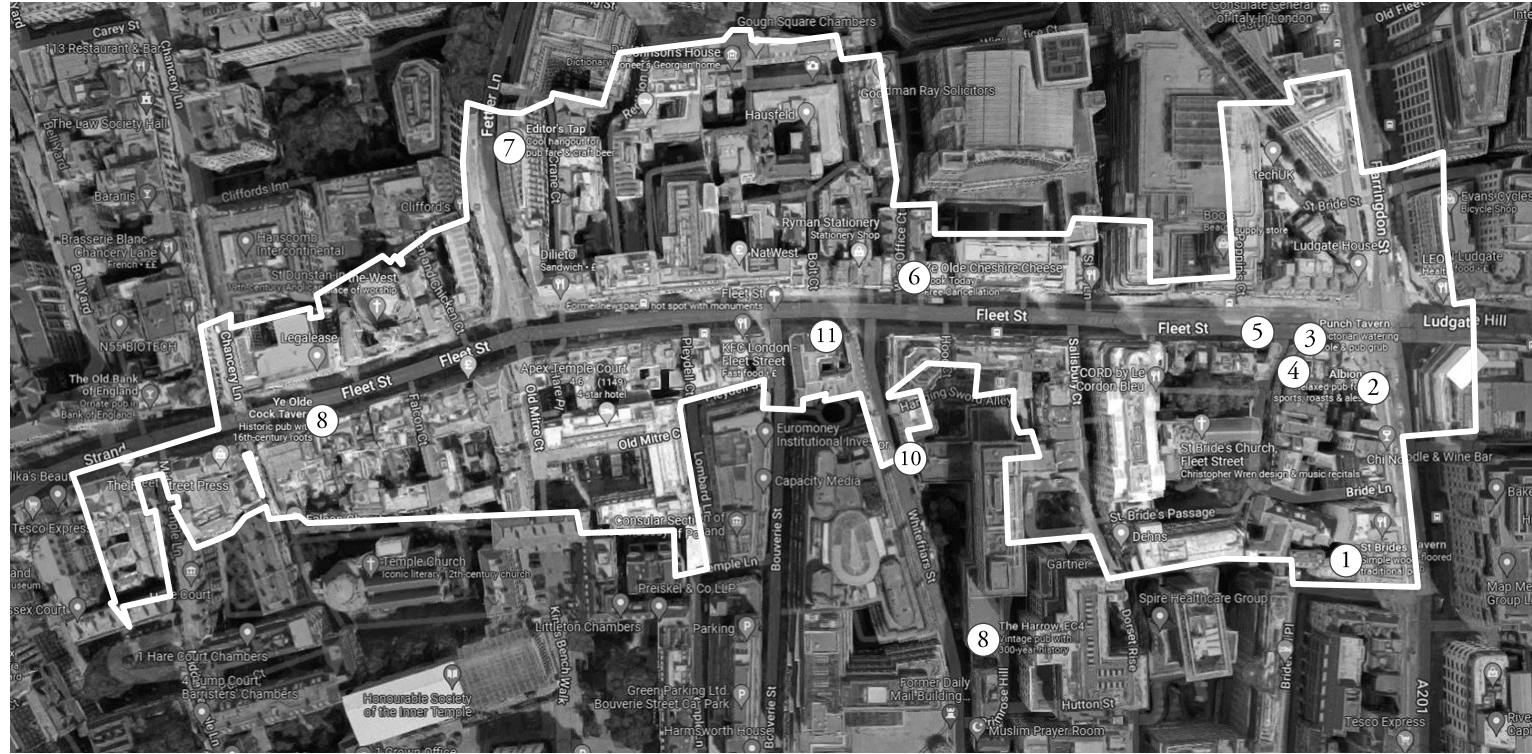


Crown and Sugar Loaf

8



Ye Olde Cock Tavern



9



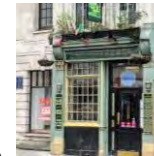
The Harrow EC4

10



The Hack and Hop

11



The Tipperary

Fleet Street Conservation Area : Public House Colours and Tones

DRAFT

1



St Bride's Tavern



2



The Albion



3



The Punch Tavern



4



Crown and Sugar Loaf



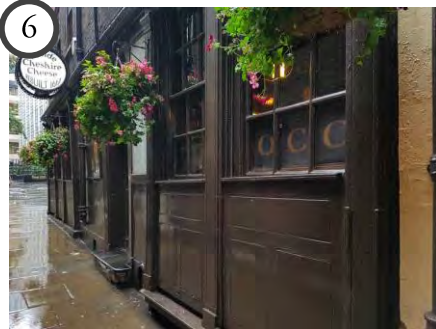
5



The Old Bell Tavern



6



Ye Olde Cheshire Cheese Fleet



7



The Editors Tap



8



Ye Olde Cock Tavern



Dark tone
Light tone



DRAFT

Bridewell Place

New Bridge Street

Character

We have been inspired by the contrast in tones to the collection of existing public houses in the Conservation Area. We propose using two bricks of contrasting tone, one light to represent New Bridge Street and one Dark to represent Bridewell Place. This reinforces the contrast currently seen in the St Brides Tavern pub, which mixes light concrete with dark bronze metal.

By mixing a robust and special dark brick with a light brick we can create a characterful, contextual and playful elevation to the Pub, while drawing the eye down towards Bridewell Place and the New Passageway.

Art Wall and Public House

The Art wall lines the western side of the passageway. We intend this space is used for covered outdoor seating during non delivery times, especially between 5pm and 11pm.

The Art Wall will display a history of the area and be developed to encourage passers by to learn about the area as well as learn about upcoming shows and event at The Bridewell Foundation.

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Bridewell Passage

Bridewell Place

New Bridge Street



Appearance : Bridewell Place

Bridewell Place is proposed darker in tone to the New Bridge Street façade giving the Public house a refined and characterful appearance. With many of the Public Houses in the Fleet Street Conservation Area being dark in tone, we have both acknowledged this New Public House as being part of a rich identity, while also celebrating the architecture of the current St Brides Tavern.

The main Entrance to the Pub will be access from Bridewell Place, adjacent to the new Passageway. We have solidified the building around the entrance, reducing the scale further and clearly identifying the entrance through solid brick banding, recessed doorway and removing all the lighter brickwork.

The windows have been canted on plan, enhancing the experience up and down the street adding to the character of the pub identity, which is further reinforced through flower box planters, solid banding to the top and base and through projecting signage and hanging baskets. The lower-level windows will be sash type allowing the upper section to slide down. This will give the inside outside feel when the weather permits, while maintaining the regulatory requirements for edge protection.

Proposed View from Bridewell Place



Appearance : Bridewell Place

Bridewell Place Entrance

DRAFT

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- 1 Recessed Entrance portal to Bridewell Place
- 2 Solid Brick banding incorporating signage
- 3 Canted Windows (modern oriel)
- 4 Hanging baskets around entrance
- 5 Projecting signage
- 6 Solid brick base to windows
- 7 Openable windows (side hung sash to top)



Proposed View from Bridewell Place

Bridewell Passage: Storytelling

DRAFT

The proposed Bridewell Passage provides an opportunity to enhance the public realm and routes in and around the site and provides the opportunity to provide a quality urban experience, reinforced by quality materials and active frontages. We are developing ideas based upon storytelling and nature. The space is activated by the public house and Cycle entrance at either end, while a series of doorway and service door line the eastern side.



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Extract from the History of Publishing in Fleet Street, along one of the Fleet Street Conservation Area passageways.



Appearance : Bridewell Place

DRAFT

Bridewell Place is proposed darker in tone to the New Bridge Street façade giving the Public house a refined and characterful appearance. With many of the Public Houses in the Fleet Street Conservation Area being dark in tone, we have both acknowledged this New Public House as being part of a rich identity, while also celebrating the architecture of the current St Brides Tavern.

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Appearance : Bridewell Place

ET



Proposed View from Bridewell Place

DRAFT

- 1. Canted Windows (modern oriel)
- 2. Solid brick base to windows
- 3. Openable windows (side hung sash to top)
- 4. Flower box planters
- 5. Motif placement (suggested)



Proposed View from Bridewell Place

Appearance : New Bridge Street

New Bridge Street will be lighter in tone, primarily using the lighter brick which will be used for the the majority of the building plinth.

The reveals to the columns will be in the solid darker brick, with interest occurring in the lighter brickwork through gradual introduction of the darker brickwork.

The Windows and much smaller than the office above, reinforcing the change in use, while their plan form is canted embracing views up and down the street, while the bay window has been inspired by the traditional Oriel windows to Fleet Street. Planters have been incorporated to the central banding which is metal, apart from the two entrance locations where it changes to brickwork.

The prominent south-eastern corner is chamfered and displays signage which reinforces the dual aspect nature of the Public House.

Solid Base banding allows seating or place for drinks instead of planters, ensuring a functional element to the retained structure, while further distinguishing the building from the office above.



Proposed view from New Bridge Street

Appearance : New Bridge Street

DRAFT

1. New Bridge Street Entrance Portal with Information Board
2. Solid Brick Signage Band to Entrance

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- Canted windows smaller and distinguished from Office design
- Flower box planters to break up window while referencing St Brides Tavern and other Pubs in the Conservation Area
5. Solid brick header banding
 6. Solid Brick Base banding incorporating hard top for seating / table depending on street levels.
 7. Projecting signage
 8. Flower baskets to entrance zone
 9. Logo Placeholder. To be worked up with operator.



View from New Bridge Street Pub Entrance : Proposed

Appearance



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View from New Bridge Street



We propose an improvement to the existing public house

1. Enhanced Frontage : Corner prominence
2. Increased Active & Larger FOH spaces on display
3. Enhanced Accessibility : Access on 3 sides (New Bridge Street, Bridewell Place, Bridewell Passage)
4. Inclusive : Level access to two entrances
5. Versatility : Covered external space on site
6. Active frontage : Openable windows to Bridewell Place
7. Identity : signage (4 bays of signage)
8. Designed with WELL Principles (more daylight, Views and Greenery)
9. Safer : Contained on site, not pavement spill out required
10. Enhanced servicing : Dedicated on site service strategy , no illegal truck movements.

DRAFT



Appearance : New Bridge Street

The Public House will be clearly defined while not distracting from the Office entrance on New Bridge Street.

The material, scale and detail of the windows as well as the solidity around the entrance will help clearly define this as a Public House.

Delight is found within the window design and the brickwork details which reduce the scale and give a personal touch to the building.

Planting will help to reinforce the use, and work within the wider objectives of the development, reinforcing WELL Principles.

1. New Bridge Street Entrance Portal with Information Board

2. Solid Brick Signage Band to Entrance

3. Canted windows smaller and distinguished from Office design

4. Flower box planters to break up window while referencing St Brides Tavern and other Pubs in the Conservation Area

5. Solid brick header banding

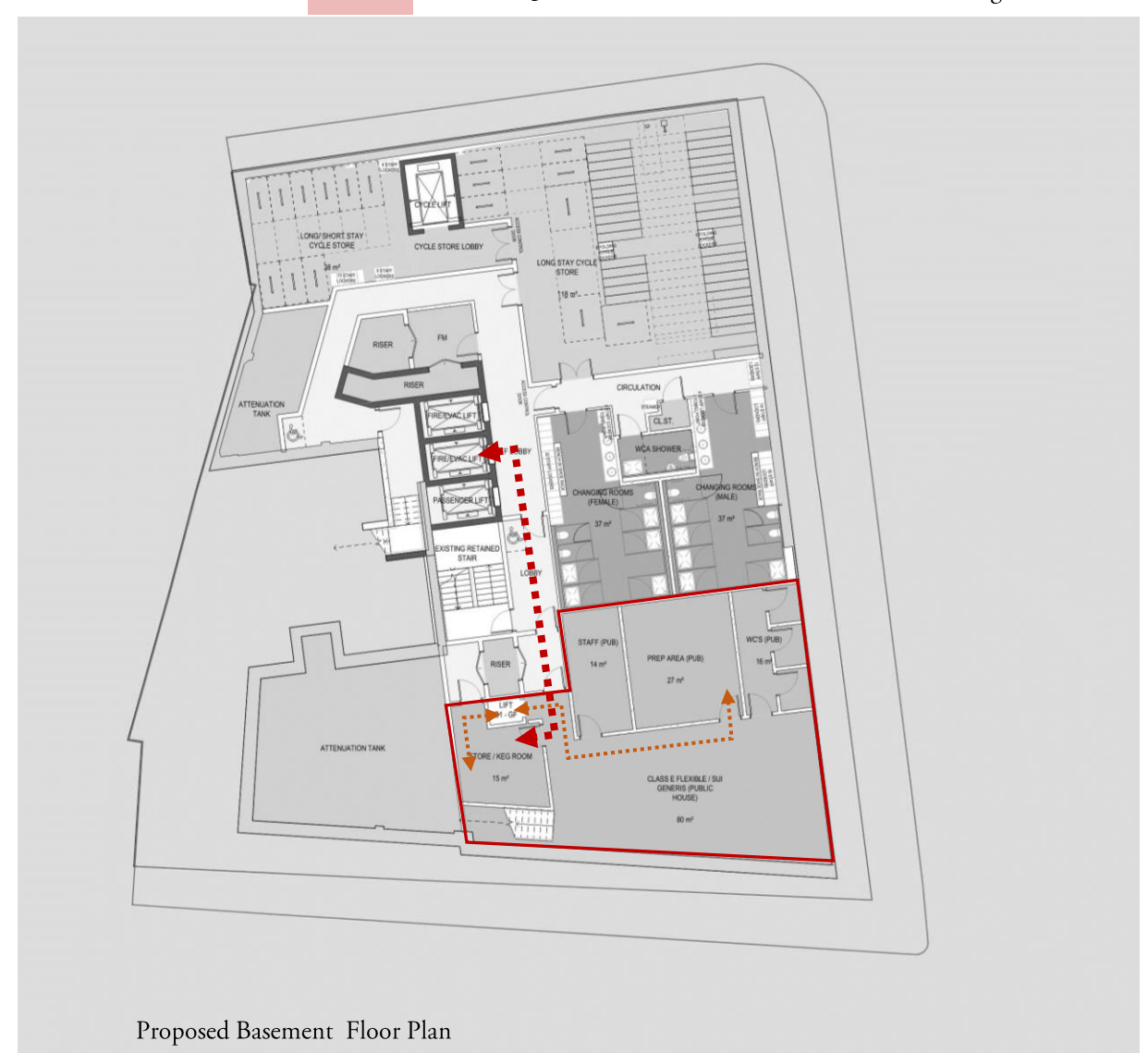
6. Solid Brick Base banding incorporating hard top for seating / table depending on street levels.



View from New Bridge Street : Proposed

5.0 Servicing Strategy

- Demise Plan
- Parking Service Vehicle
- Heavy Goods
- Light Goods



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6.0 Commercial feedback

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Attn: Fleet House Development Ltd,
c/o Atenor UK Limited,
Belle House,
1 Hudson's Place,
Victoria Mainline Station,
London
SW1V 1JT

Re: Pub Unit Advice, Fleet House Redevelopment, 8 – 12 New Bridge Street, London EC1V

12th September 2022

Dear Eoin,

Further to our recent conversations on Atenor's proposals for Fleet House, and in particular the re-provision of a modern, viable and inclusive pub use on site, I am happy to provide some early stage views on the proposals shared.

Firstly, the property is located in a prominent and attractive location. As discussed I was involved in the very early days of Starbucks when they first entered the UK market and narrowly missed out on taking the Costa Coffee unit next door, resulting in Starbucks taking a unit on the other side of the road. The fact that both coffee concepts have been trading on New Bridge Street for over 20 years is a great endorsement for the location. However, it is important to note that for any new commercial pub use coming into the area, it will prove highly desirable to ensure adequate sized floorplates and frontage onto New Bridge Street in order to comfort prospective occupiers around attainable trade; particularly in an area where there is a plentiful provision of alternative drinking and dining establishments and in an era where pressure on operators remains high.

The City has seen a lot of casualties from leisure operator groups whose focus was predominantly on London. However, we are now seeing a rapid return to a new normal and increasing footfall, especially in this location. I believe that commuter patterns have changed with more people travelling to hub transport locations, such as Blackfriars, City Thames Link, or indeed Farringdon and are then, walking, cycling or e-scootering to their onward destination and perhaps avoiding so many Tube journeys. I am seeing a correlation between the areas recovering more quickly and the presence of a main transport hub.

Rents have taken a hit (perhaps they needed to?) specifically, in nearby locations such as Ludgate Circus and Fleet Street – they seem to have taken a 30% hit and there are a number of opportunities to take retail space there. A shift in major office tenants is what drives the footfall and is probably the catalyst for much of this localised change.

I have reviewed the plans provided for Fleet House and I understand what you are trying to achieve here. More broadly within the wider scheme – Sustainability is front and centre with an environmentally friendly, lifestyle, efficient, mixed-use space and perhaps with a hint of the

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crossover of "work-life" space. Getting the right mix of uses and spaces across the scheme (given planning sensitivities on the pub use) will be critical to ensuring the success of this development from an office occupier, pub operator and place-making perspective.

The existing building almost looks like it was wrapped around a rather small and vertical pub when it was built. It might be subjective, but the current pub is not overly attractive and doesn't sit with modern pub/restaurant requirements from an operating area or a level access basis; neither does it have the quintessential historic pub ambience that both the generic and tourist custom market seek out. The City and Midtown is awash with finer examples. To this end, a reinvigorated approach to a modern pub use is exactly what this in order to successfully define itself within the wider grain. Tucking something down the side street is not the way forward, giving it a prominent corner and a nice light and airy frontage is definitely the way forward. Some outside detailing such as ground level openable windows, planters and safe zones for customers to engage the outdoors would soften the urban alley feel of both Bridewell Place and New Bridge Street thus helping to identify the establishment.

The layout in size terms is ample for a good number of concepts, a little small for the likes of Drake and Morgan and The Arber Garden/The Lighterman but, I appreciate that may not be the appropriate occupier type appropriate to this location.

I see the merit in trying to fully interact with the office reception, but this needs careful consideration to pull off the right balance. From a customer view point, if not carefully mapped out, it may prove confusing and if people look in and think that's an office reception with a party going on, they will walk on by. Secondly, pubs/bars/restaurants can by definition be rather noisy places when busy even if this is concentrated "out of hours" when office workers typically leave for home but given modern ways of working, and the late hours of some professions prolific in the immediate area, it would be wise not to count on a vacant office plan in tune with a busy pub unit below. The establishment will need brand separation – albeit this can be introduced in a subtle way which does not detract from the overall character and aesthetic of the wider development. It also makes sense that you might look at the more accessible "café/lunch time/smoothie bar" type uses to the front of the unit (addressing New Bridge Street) and this can evolve into a wine/cocktail bar in the evening. More traditional vertical drinking areas can be considered where the unit opens out onto the new passage proposed to the west and Bridewell Place. We just need to ensure that the operator and the management company have fully considered how you control/encourage trade to be less wet-let through traditional office hours. I feel the careful selection of the right operator will go a long way towards this as they will understand the importance of balancing trade to ensure their optimum operating strategy.

Consumers are becoming more and more demanding and both food and drink aware. 20 years ago Starbucks and Costa were seen as "gourmet", while a Greene King and Young's were the accepted format of a pub - now to many of us they are "mainstream" and in London in particular we are seeing so much more innovation and evolution in response to this continued growth in sophistication. Londoners are seeking out (and indeed embracing) operators that challenge the norm with boutique self-roaster coffee sites like Monmouth, Exmouth, Grind, Association, Workshop, Watch House, Dartbrooke, Kiss The Hippo or Black Sheep Coffee themselves moving into

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a more 18/7 format – allowing a pub-type use that captures more of the market for more of the day because they are seen as more accessible, lifestyle oriented and thus inclusive. The reason we are witnessing more of a broad-church when it comes to pub formats is in many ways the industry ensuring its survival.

Many operators have embraced food as a means of opening up the traditional customer base, I think it is important that we are able to offer a kitchen. Anything that smacks of "Ping Cheferny" is soon going to be found lacking. Certainly "Railhouse Cafe" and "Lounges" will have a requirement on this front.

There is a whole craft ale revolution going on at present and I'm sure we can drum up some more interest there too – and which would be entirely in keeping with the narrative of what it is you are trying to achieve here, such as Little Creatures on Regents Canal, Caravan (there is one nearby at the Bloomberg HQ which works very well throughout the day), Crate Brewery in Hackney Wick, Urban Allet (Australian outfit) and Mason & Company (Hackney Wick etc.).

In addition, you have asked me to specifically comment on the requirement for residential accommodation in a modern pub setting. It is true that in some historical, traditional pubs residential accommodation can be found in various locations – but this is an increasingly outdated practice even among traditional independent pubs, let alone most modern formats. In summary, I do not see this as a requirement for a viable, attractive and well-run modern pub in this location.

In conclusion I think the location is good and I would like to be able to sit down and discuss with you and help identify a tenant who fits with the building brand, the offices and creates a focal point for the street too.

I look forward to hearing from you further and progression our discussions on this opportunity.

Kind regards

Yours sincerely

David Hooper BSc MRICS
Director

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DRAFT

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Fleet House

8-12 New Bridge Street

Public House Reprovision Strategy

14.11.22

DRAFT

From: [REDACTED]
To: [McNicol, Rob](mailto:Rob.McNicol@cityoflondon.gov.uk)
Cc: Shadbolt, Peter; Robinson, Jessica
Subject: Re: ACV nomination for St Bride's
Date: 24 October 2022 15:34:59

THIS IS AN EXTERNAL EMAIL

Thanks!

On 24 Oct 2022, at 14:43, McNicol, Rob
<Rob.McNicol@cityoflondon.gov.uk> wrote:

Many thanks for your message, Maisie. I'm cc-ing my colleague Jess, who's the case officer for the ACV application.

Kind regards,
Rob



Rob McNicol | Assistant Director (Policy and Strategy)
Environment Department | City of London | Guildhall | London EC2V 7HH
07784239316
Rob.McNicol@cityoflondon.gov.uk | www.cityoflondon.gov.uk

From: Maisie Lawrence <[REDACTED]>
Sent: 24 October 2022 14:22
To: McNicol, Rob <Rob.McNicol@cityoflondon.gov.uk>
Subject: ACV nomination for St Bride's

THIS IS AN EXTERNAL EMAIL

Dear Rob,

St Bride's is a lovely pub in an area that lacks normal restaurants and pubs. It feels like a local, and yet is in the heart of the city. It has a great value to those of us who call this place home during the week, its lovely facade covered in flowers is always cheerful and after the pandemic when so many restaurants around here closed, it's a bright spot. We cannot lose it, and it definitely deserves to be an ACV. It already is one.

Thanks,

Maisie

--



From: [REDACTED]
To: [Robinson, Jessica](#)
Subject: St Bride"s Tavern, Fleet Street
Date: 01 November 2022 22:33:39

THIS IS AN EXTERNAL EMAIL

Dear Ms Robinson

I am writing to support the application to make St Bride's Tavern in Fleet Steet an Asset of Community Value (ACV). This tavern is an historic part of the City of London and more particularly of the area in which I live, which is close to Fleet Street. The tavern significantly enhances the look and feel of the area close to St Bride's Church. It is a community tavern and used by local residents like myself and local workers, as well as visitors who come to see this area. It gives us a sense of pride to have such a building in our district. It is for these reasons that I very much support the application for the tavern to be given ACV status.

Kind regards

Annette Nabavi
Flat 8, 7 Pemberton Row
London EC4A 3BA

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Agenda Item 7

Committee(s): Policy and Resources Committee – For Decision	Date: 15/12/2022
Subject: Member Observers on BID Boards	Public
Which outcomes in the City Corporation’s Corporate Plan does this proposal aim to impact directly?	1,3,4,5,9,10,11,12
Does this proposal require extra revenue and/or capital spending?	N
What is the source of Funding?	N/A
Report of: Executive Director Environment	For Decision
Report author: Simon McGinn, Assistant Director Partnerships and Engagement, Environment Department	

Summary

This report concerns arrangements in respect of the Member Observer roles on Business Improvement District (BID) Boards in the City, following the receipt of a letter from the Chairman of the Eastern Cluster (EC) BID which seeks agreement, in the interest of good governance, to the option of being able to rotate the Member Observer over the five-year term of the EC BID, so to allow for better representation of Members from the Wards across the BID footprint.

As the BID Body and BID Proposer, the City Corporation requires representation on the BID Board to support the delivery of the BID Proposal. A Member Observer sits on each of the BID Boards to provide the necessary guidance and advice to support implementation of the various projects to be delivered during the five-year term of the BID. This report sets out the existing position in respect of Member Observers and provides options for consideration in terms of providing BID Boards with appropriate flexibility to determine how frequently they wish to change the Member Observer, to enable a more diverse, inclusive, and effective representation of Wards falling within the BID footprint.

The report also sets out the process for seeking approval to the Member Observers as part an annual report to your Committee.

Recommendation

Members are asked to consider which of the options in relation to Member Observer roles in BID Boards they would wish to progress, as set out at paragraph 10.

Main Report

Background and Current Position

1. A letter has been received (Appendix 1) from the Chairman of the EC BID seeking agreement, in the interest of good governance, to the option of being able to rotate the Member Observer over the five-year term of the BID, to allow for better representation of Members from the Wards across the BID footprint.
2. As the BID Body and BID Proposer, the City Corporation requires representation on the BID Board to support the delivery of the BID Proposal. Each of the current four BIDs in the City has a Member and an Officer Observer from the City Corporation who sit on the Board of the respective BIDs.
3. Boards normally comprise between 10-15 representatives drawn from the BID levy payers. In the interest of keeping Board numbers streamlined, it is not considered appropriate to have more than one Member overseeing Board activity.
4. As an Observer, the Member representative is there to provide guidance and advice and to provide updates on policies to support the decision making of the Board in line with the approved Business Plan. The Member Observer does not have any voting rights in relation to final decisions on items.
5. The current Member Observers on the BID Boards are as follows:
 - EC BID, Shravan Joshi
 - Cheapside Business Alliance, Alastair Moss
 - Fleet Street Quarter, Martha Grekos
 - Aldgate Connect, Henry Jones
6. The approach to Member Observer appointments on BID Boards has been somewhat inconsistent or non-specific to-date in respect of term length and whether these should be made for the full five-year term of the BID, or for a shorter period.
7. At the time of relevant reporting to this Committee, the Member Observer had already been identified for both Cheapside and EC BID and were confirmed by the Committee as part of the overall proposals. For both the Fleet Street Quarter and Aldgate Connect BIDs, the Member Observer appointments were subject to a further report following engagement with Ward Members in the footprints to identify nominations for consideration. Whilst the Aldgate Connect BID proposal specifically referenced confirmation of the appointment of the Member Observer for the full term of the BID, none of the other reports were specific about how long a Member Observer would sit and whether this should be rotated.

Consideration and Options

8. A letter from the Chair of the EC Bid (see appendix 1) has recently been received, requesting consideration of the arrangements in respect of Member Observers which, in short, requests that annual consideration be given to the appointments made. Whilst the request made relates solely to the EC Bid, in the interests of

consistency and transparency your Committee is likely to wish to consider the matter in the context of approach for all current and future BIDs.

9. It is recognised that there are benefits to rotating the Member Observer through the BID term, as this would provide an opportunity to have a more diverse and inclusive representative involvement across the various Wards within the BID footprint and would further strengthen the symbiotic relationship between the BIDs and the wider business ecosystem in their area. Equally, there are benefits to the retention of incumbents in many cases, in the interests of continuity and maximising accrued knowledge and experience to the benefit of the BID.
10. A number of options, therefore, present themselves for consideration by your Committee:-
 - i. **Decline the request and retain the status quo, with incumbent Member Observers retained for the full length of the relevant BID.** Given the specific request of the EC BID and the somewhat inconsistent approach taken to date, it is likely that this would not be in the best interests of either the EC BID or the City.
 - ii. **Agree to allow rotation of the Member Observer for solely the EC BID, in line with their request.** This would have the benefit of supporting the EC BID in their moves towards best practice, but the disadvantage of embedding an inconsistent approach across BIDs. Granting the ability to one BID in isolation would also appear somewhat inequitable and could well result simply in individual requests further down the road and the need to then spend more time considering these on an ad hoc basis.
 - iii. **Agree to grant each BID the ability to rotate the Member Observer each year, or to retain incumbents.** Empowering the BID Boards with the flexibility to determine the frequency of rotation and whether they wish, for continuity purposes, to retain a Member Observer for more than one year, or whether they feel it would be beneficial to rotate, would provide for consistency of approach whilst also enabling the individual Boards to propose membership arrangements which support their individual local requirements so far as possible, strengthening the collegiate approach between the City and the BIDs in the management of the relevant areas.
 - iv. **Agree to rotate the Member Observer each year across the Wards that sit within the BID footprint.** This would provide an opportunity to have a more diverse and inclusive representative involvement across the various Wards within the BID footprint and would further strengthen the symbiotic relationship between the BIDs and the wider business ecosystem in their area.
11. Should Members wish to pursue either option (ii), (iii), (iv), it is suggested that it would be most appropriate for each BID to take initial ownership of engagement with Ward Members in their footprint in an effort to identify who they would like as the Member Observer for each year. If option (iii) were preferred, then BID Chairs would be able to seek the views of their Boards (as well as the incumbent Member) about whether they would like to continue with the existing appointment or whether they wish to seek a change. If rotation were considered beneficial,

then interest from Members within the Wards would be sought and a consolidated report would be brought before your Committee in May of each year, confirming which BIDs wish to retain the existing Member Observer or seek rotation and, if the latter, for options ii), (iii), and (iv), which Members have expressed an interest and their reasons for doing so, alongside any specific recommendations from the BIDs, to be subject to consideration and determination by the Committee.

12. This oversight by the Policy & Resources Committee in terms of ratification would provide for an appropriate yet light-touch check and balance, to ensure the City Corporation's interests are represented adequately and that appointments are made with the benefit of the wider context of the Corporation's activities.
13. In relation to timescale for such an approach, BID Boards currently meet four times a year, normally in June, September, December and March, with 1 April being the commencement of each year of the BID term. It is considered that, if rotation of the Member Observer is to be permitted, then it would be appropriate to facilitate this between the March and June Board meetings (hence the suggestion of an annual report to your May meeting).

Corporate & Strategic Implications

- Strategic implications – As BID Proposer it is necessary for the City Corporation to have Member representation on the Board. BIDs are focussed specifically on supporting the needs of businesses within the footprint of the BID boundary. The BIDs support eight of the twelve outcomes set out in the Corporate Strategy 2018-23
- Financial implications - None
- Resource implications – Member Observers appointed to BIDs will be expected to attend BID Board meetings and to engage with the BID Chairs throughout the year to inform the delivery of the BID Proposals. Beyond this, there would be a modest officer time involvement from the Assistant Director of Partnerships and Engagement in collating and submitting to Committee the various BIDs' annual proposals.
- Legal implications - None
- Risk implications - None
- Equalities implications – The proposals potentially provide BIDs with flexibility to broaden engagement with Members within their footprint ensuring a more diverse and inclusive representation.
- Climate implications - None
- Security implications - None

Conclusion

14. The existing arrangements for the appointment of Member Observers to sit on the BID Board have been highlighted by an existing BID as lacking the necessary flexibility to broaden the diversity of engagement with the various Wards across

their footprint. This paper provides options for consideration including the opportunity to rotate Members, to support and inform the workings of the BID.

Appendices

- Appendix 1 – Letter EC BID

Simon McGinn

Assistant Director Partnership and Engagement, Environment Department

E: simon.mcginn@cityoflondon.gov.uk

APPENDIX 1 - Letter EC BID



By Email

28th October 2022

Dear Chair and Deputy Chair of Policy and Resources,

City Corporation Elected Ward Member Representation on BID Boards

As you are aware the EC BID is now moving forward at pace and our strategy is well aligned with the City Corporation's own policies around Destination City and climate action.

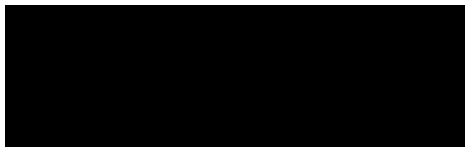
We currently have a Board Observer from the City Corporation attend all our Board Meetings as do the other City BIDS, which helps to keep us closely aligned and able to keep up to speed with City Corporation policy.

As the EC BID covers several Wards within the City, we believe it would be good governance if the position /appointment of the City Board Observer was to be reviewed on an annual basis by the relevant committee within the Corporation, this would ensure that during the course of our 5 year BID mandate we are able to properly represent all the Wards and be more inclusive. This would also sit well with the City's own annual committee turnarounds and internal elections.

To date we have been very pleased with our working arrangements with the EC BID City representatives, and I would emphasise that this letter is in no way a complaint, but at our recent Board Meeting the question of good governance was raised and we therefore felt that this would be a good way to ensure that scrutiny is maintained at the City level across all the City's BIDS.

I would of course be happy to discuss the foregoing with you both at your convenience.

With kind regards



A J Reynolds
Chair EC BID

CC Shravan Joshi

Eastern City Business Improvement District
EC BID, 15 Bishopsgate London EC2N 3AR

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W ecbid.co.uk

Company Registration Number 12096445

<p>Committees: Policy and Resources Committee – for decision Operational Property and Projects Sub Committee – for decision</p>	<p>Dates: 15 December 2022 16 January 2023</p>
<p>Subject: Climate Action Strategy (CAS) – Capital Delivery Programme for Operational Buildings</p> <p>Unique Project Identifier: 12372</p>	<p>Gateway 2 Project Proposal: Regular</p>
<p>Report of: City Surveyor</p> <p>Report Author: Rodrigo Matabuena</p>	<p>For Decision</p>
<h2 style="margin: 0;">PUBLIC</h2>	

Recommendations

<p>1. Next steps and requested decisions</p>	<p>Project Description: This programme covers a portfolio of capital interventions to be delivered to decarbonise the most carbon intensive City of London operational buildings, in line with the Climate Action Strategy net zero targets.</p> <p>Next Gateway: Gateway 3-5 or Gateway 3/4</p> <p>Next Steps: To produce Investment Grade Proposals for the projects following the proposed timeline in Appendix 1.</p> <p>Requested Decisions:</p> <ol style="list-style-type: none"> 1. Note that these proposals relate to an element of central funding previously allocated in principle to capital interventions under the Climate Action Strategy.
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	<ol style="list-style-type: none"> 2. Note the total estimated cost of the programme is £5,311,867 (excluding risk). 3. Note the costed risk budget of £1,274,847 to cover potential budget variations attributable to unforeseen inflation fluctuations, potential delays due supply chain issues and asbestos removal. This budget will not be materialised at this stage and is not requested at this stage. 4. That a budget of £250,000 from the above Climate Action provisions be approved to progress the work to Gateway stages 3 – 5 (£105,000 City Cash, £143,000 City Fund, £2,000 Bridge House Estates) 5. Note that for expediency, Policy and Resources Committee members are asked to approve the drawdown of the £248,000 in lieu of the Resource Allocations Sub-Committee (noting £2k is within the remit of the BHE Board).
<p>2. Resource requirements to reach next Gateway</p>	<p>To reach the next Gateway stage, some projects will require further technical surveys or enabling works (such as planning applications or design studies). A budget of £250,000 is requested to support the development of this portfolio to Investment level.</p> <p>Individual Gateway stage 3 – 5 papers will be produced per each individual projects or building.</p>
<p>3. Governance arrangements</p>	<p>All projects will be reported collectively to the following:</p> <ul style="list-style-type: none"> • SRO: Damian Nussbaum, Director of Economic Development • Corporate Projects Board • Policy and Resources Committee • BHE Board as relevant <p>However, decision on the GW 3 – 5 papers is expected be obtained by the SRO, under the CAS delegated authority, for projects under £1m.</p> <p>Capital Funding has previously been approved in principle by RASC, but for expediency, P&R Members are requested to approve the drawdown of the £248k required to reach the next gateway (Note BHE Board have approved relevant amounts in principle) .</p> <p>Given the relatively low complexity of some of the projects, in some instances, the GW stages 3 – 5 will be combined. However, capital intensive projects will follow the GW 3/4 and GW5 stages.</p>

Project Summary

<p>4. Context</p>	<p>4.1 In January 2020, the City of London Corporation (City Corporation) set out on a fast-paced, cross-City Corporation journey to develop an ambitious Climate Action Strategy (CAS).</p> <p>4.2 The City Corporation assessed the carbon footprint across both its own varied property holdings and the Square Mile, to develop a plan to achieve Net Zero by 2027 for scope 1 and 2 emissions and Net Zero by 2040 across the investment portfolio and supply chains.</p> <p>4.3 The CAS marked the start of a new and transformative programme of action. On 8th October 2020, the CAS was adopted by the Court of Common Council for the City Corporation. Fifteen costed project delivery areas have since been consolidated into ten project plans.</p> <p>4.4 This paper refers to the “NZ1 Corporate Property and Housing Landlord Areas” Project Plan. The year 2 plan and the tasks associated with it has been approved at the Policy and Resources Committee on 5th May 2022.</p>
<p>5. Brief description of project</p>	<p>5.1 City of London have an existing Call-off-Contract with Vital Energi under GLA’s Retrofit Accelerator for Workplaces Framework (the Energy Performance Contract), for which Vital Energi (the Service Provider) will provide a range of services including High Level Assessments, Investment Grade Proposals and Works Contracts to carry out Energy Efficiency Measures under an Energy Performance Guarantee.</p> <p>5.2 Vital Energi have produced High Level Assessments (HLA) of the top fifteen highest energy consuming sites within the Operational Property Portfolio (see Appendix 1). Each HLA contains recommended projects to reduce consumption (and therefore carbon) with a savings guarantee and a cost estimate. Projects include LED lighting, insulation and draught proofing, ventilation fan upgrades, pump and valve replacements, Building Management System (BMS) optimisation, Solar Photovoltaics (PV) panels, improvements to Heating, Ventilation and Air Conditioning (HVAC) systems, heat pumps, swimming pool covers and humidification systems. Please refer to Annex 1 for further details.</p>

5.3 As a portfolio, these projects have an overall carbon saving of 520 tCO₂/annum with an energy cost saving of £550,000 per annum at a project cost of £5,338,615 (excluding risk). The average payback of the portfolio is therefore 10.1 years. The overall cost per ton of carbon saved is £10,250 /tCO₂. Energy cost savings will return to the Build Back Better fund on behalf of City Fund and City's Cash, with savings relating to BHE remaining with their unrestricted income funds. A monitoring and verification process will be conducted in order to confirm savings after each project has completed in order to determine these returns.

5.4 The portfolio consists of a mixture of projects which provide carbon and cost savings. The projects have been selected considering the following:

- Investment vs Carbon / Cost reduction (cost effectiveness)
- Complexity of implementation: including access to the site, disruption to the site's operation, periods of availability for works.
- Timeframe for delivery
- Interdependency with other projects

5.5 This paper sets out the list of proposed projects for future spend of CAS Y2 and Y3 capital funds.

5.6 If approved, the next step will be to proceed to individual "sub-project" GW3-5 papers primarily on a site-by-site basis or combined into projects covering multiple sites if deemed beneficial. The GW3-5 papers will be submitted in the usual way to the Climate Action Strategy Delegated Authority, to request funding for budgets up to £1m. Following approval individual GW3-5 paper, the project will proceed to construction under the Call-Off Contract. It will also be required to commission additional technical surveys to develop the GW3 – 5 papers. Each GW3-5 paper will be appended an overall programme overview to ensure implications to the overall programme are understood while making decisions.

5.7 There may be specific scenarios where the project should be procured outside of the existing Call-Off Contract (such as a specialist contractor being required, or tighter control of the project required). This will be explored in more detail during the preparation of the GW3-5 paper and the procurement route identified as necessary.

	<p>5.8 The total value of all sub-projects will not exceed the value set out in the initial GW2 paper. As GW3-5 papers are produced for each sub-project, there may be changes to their budgets as well as some projects which do not progress further. Bi-annual progress reports will be presented to reflect said changes.</p> <p>5.9 The list of projects may change because of numerous factors, such as a change in circumstances at sites, planning conditions, or more beneficial projects identified as a result of further surveys. Such changes will also be updated in the progress reports.</p> <p>5.10 The portfolio of projects is expected to be delivered over the financial years 2022/23 – 2024/25. The budget expenditure timeline is highlighted in Appendix 1.4.</p> <p>5.11 In the case of centrally funded sites, financial savings that are made will accrue back to the City Corporation as a contribution to the Build Back Better Fund held in City Fund or City’s Cash as appropriate, and will remain within the unrestricted income funds for BHE. Therefore, departmental local risk budgets will be adjusted accordingly. A monitoring and verification process will be conducted and reported on at GW6 to confirm the energy savings.</p> <p>5.12 The financial performance of the proposed projects (paybacks) has been aligned to the assets management plan, ensuring that the paybacks are within the period of occupation / operation of the buildings.</p> <p>5.13 In the case of locally funded sites, financial savings accrue back to the respective site’s operational budget. The appropriate project funding source will be sought in each specific case.</p> <p>5.14 The estimated costs and savings set out in this paper will be regularly reviewed and reported throughout the project. A post-project verification exercise will be carried out, aided by the additional metering equipment and software upgrades included within the project.</p> <p>5.15 A budget of £250,000 will be required to perform additional technical surveys or works such as: heat metering, asbestos surveys, planning advice, etc. This budget has been estimated as a 5% of the capital costs of the proposed works.</p>
6. Consequences if project not approved	6.1 Missed opportunity to reduce the carbon emissions of the City of London Corporation by 520 tCO ₂ e/yr which represents a significant proportion of the reduction

	<p>requirements to meet the City of London's net zero carbon target.</p> <p>6.2 Missed opportunity to reduce the energy costs to the City of London Corporation by £550,000 /yr.</p> <p>6.3 Most of the projects include the replacement/refurbishment of existing building services which would currently require cyclical replacement, and hence investment, within 5-10 years.</p>
7. SMART project objectives	<p>7.1 Each project achieves specified performance and design parameters, within the framework of the Energy Performance contract with energy and financial savings guarantee.</p> <p>7.2 Each project achieves high levels of stakeholder and user satisfaction. All projects will be developed jointly with local FM teams and asset managers.</p> <p>7.3 Minimise disruption to the site's occupants and services.</p> <p>7.4 Energy cost savings of c.£550k/year.</p> <p>7.5 Carbon emission savings of c.520 tCO₂e/yr.</p>
8. Key benefits	<p>8.1 Compliant and high-quality building services which satisfies needs.</p> <p>8.2 Lower energy and maintenance costs for the City of London Corporation.</p> <p>8.3 Energy and carbon emission savings to contribute towards City of London Corporation targets.</p>
9. Project category	5. Other priority developments
10. Project priority	A. Essential
11. Notable exclusions	None

12. Overview of options

Option	Carbon Savings	Cost Savings	Additional benefits
Option 1: Not doing anything	Will not deliver any additional carbon savings. Only savings from the electrical grid decarbonisation can be expected.	Will not deliver any additional cost savings to the CoL This will lead to a higher exposure to energy costs volatility.	It will not require any capital expenditure from the Climate Action Fund. No need to incur in monitoring and evaluating costs.
Option 2: Develop individual projects as and when maintenance or cyclical replacement is carried out on each site	Some carbon savings will be achieved but some opportunities will be missed. This approach will lead to a slow and limited response when planning carbon-saving interventions.	Similarly, some energy and financial savings will be achieved but not maximised. Difficult to forecast the total financial savings.	Intermediate level of investment required with potential overlaps with existing maintenance budgets.
Option 3: Develop the proposed programme	Highest level of carbon emission reductions in the region of 520 tCO ₂ /year	Will generate savings in the region of £550,000 per annum	Would allow the CAS budget to be forecasted and planned in the near and mid-term.

Conclusion:

The Option 3 is the only option that will deliver on the Climate Action targets and will also generate significant and predictable cost savings to the Corporation.

Inaction is not supportive of the Climate Action Strategy.

Relying on performing interventions as and when cyclical works are carried out will be delivering Business as Usual. This will deliver certain benefits but will not be enough to achieve the CAS objectives.

Project Planning

<p>13. Delivery period and key dates</p>	<p>Overall project:</p> <p>Sept 2021: Surveys commenced</p> <p>July 2022: Surveys completed</p> <p>Dec 2022: GW2 approval for overall project programme</p> <p>Jan 2023: First GW3-5 Paper for individual projects, with other GW3-5 papers submitted on an ongoing basis. Preparation of Investment Grade Proposals to support GW3-5 papers.</p> <p>Mar 2023: Commencement of construction of individual projects</p> <p>Mar 2025: Completion of construction</p>	
<p>14. Risk implications</p>	<p>Overall project risk: Medium</p> <p>14.1 A costed Risk Register is presented in Appendix 2, covering changes in scope and potential rectifications, additional professional fees and surveys, potential management of asbestos, as well as provision to allow for large inflation rates experienced in the current climate.</p> <p>14.2 The costed risk will not be materialised at this stage and has been presented for information purposes.</p> <p>14.3 A more accurate cost estimation for individual projects, and hence a detailed estimation of the costed risk post-mitigation, will be produced at the next Gateway stage, informed by further project development work undertaken by the requested consultancy resource.</p>	
<p>15. Stakeholders and consultees</p>	<p>Chamberlains: Finance</p>	<p>John James, Sonia Virdee</p>
	<p>Chamberlains: Procurement</p>	<p>Darren Judge</p>
	<p>Comptroller</p>	<p>Philip Mirabelli</p>
	<p>Corporate Property</p>	<p>Pete Collinson, Matt Baker, Richard Chamberlain, Jonathan Cooper, Paul Friend, Peter Young</p>

	Property specific stakeholders	See Appendix 1.	
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Resource Implications

16. Total estimated cost	Likely cost range (excluding risk): £5,000,000 - £5,312,000 Likely cost range (including risk): £6,000,000 - £6,587,000																						
17. Funding strategy	Choose 1: Partial funding confirmed		Choose 1: Internal - Funded wholly by City's own resource																				
	<table border="1"> <thead> <tr> <th></th> <th>Total project cost - Excluding risk (£)</th> <th>Total costed Risk (£)</th> <th>Total Project cost (inc. risk)</th> </tr> </thead> <tbody> <tr> <td>City's Cash</td> <td>£2,221,609.50</td> <td>£533,186.00</td> <td>£2,754,794.00</td> </tr> <tr> <td>City Fund</td> <td>£3,043,612.50</td> <td>£730,466.00</td> <td>£3,774,078.00</td> </tr> <tr> <td>Bridge House Estates</td> <td>£46,645.00</td> <td>£11,195.00</td> <td>£57,839.00</td> </tr> <tr> <td>TOTAL</td> <td>£5,311,867.00</td> <td>£1,274,847.00</td> <td>£6,586,711.00</td> </tr> </tbody> </table>				Total project cost - Excluding risk (£)	Total costed Risk (£)	Total Project cost (inc. risk)	City's Cash	£2,221,609.50	£533,186.00	£2,754,794.00	City Fund	£3,043,612.50	£730,466.00	£3,774,078.00	Bridge House Estates	£46,645.00	£11,195.00	£57,839.00	TOTAL	£5,311,867.00	£1,274,847.00	£6,586,711.00
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Financial savings where this relates to City's Cash and City Fund will return to the Build Back Better Fund. Those for BHE will remain within unrestricted income funds.																							
18. Investment appraisal	<p>18.1 The Chamberlain have requested that financial savings that are made will accrue back to the City as a contribution to the Build Back Better Fund held in City Fund or City's Cash. As a consequent departmental local risk budgets will be adjusted accordingly. Savings for BHE will remain within the unrestricted income funds of the charity.</p> <p>18.2 The majority of projects are for the upgrade and replacement of existing building services with more energy efficient equivalents, such as LED lighting. This will result in a reduction in the outstanding maintenance liabilities and future cyclical replacement costs to the City Corporation.</p> <p>18.3 Payback and NPV are the main financial indicators used to prioritise the projects.</p>																						

	The estimated costs and savings set out in this paper will be regularly reviewed and reported throughout the project.
19. Procurement strategy/route to market	<p>19.1 The City Corporation have an existing Call-off-Contract with Vital Energi under the Greater London Authority's Retrofit Accelerator for Workplaces framework, for which Vital Energi (the Service Provider) will provide a range of services including High Level Assessments, Investment Grade Proposals and Works Contracts to carry out Energy Efficiency Measures under an Energy Performance Guarantee.</p> <p>19.2 Vital Energy have undertaken surveys at the sites listed in this paper and produced High Level Assessments (HLAs) documents. On approval of this paper, Investment Grade Proposals (IGPs) will be produced in support of future individual GW3-5 paper.</p> <p>19.3 The project works set out in this paper are to be carried out through entering into a new works agreement with Vital Energi, under the Call-off-Contract. Vital Energi will undertake the design and construction of the works and undertake the duties of Principal Contractor and Principal Designer. Following project completion, Vital Energi will undertake a Monitoring and Verification (M&V) exercise, in accordance with an agreed method and best practice industry standards, to evidence the achieved savings.</p>
20. Legal implications	20.1 There will be individual contracts per site or per group of measures. It is envisaged that the contracts will be JCT Design & Build.
21. Corporate property implications	<p>21.1 Investment in energy efficiency and decarbonisation projects is required to meet the targets set by the Climate Action Strategy.</p> <p>20.2 Projects will align with existing site plans in order to minimise disruption and maximise opportunities during installation.</p> <p>20.3 The projects will be planned in consultation with local FM teams and Asset Managers to ensure there is transparency in dates and deadlines.</p>
22. Traffic implications	22.1 Not available at this stage. Any traffic disruption will be addressed in GW 3-5 papers.
23. Sustainability and energy implications	<p>5. The project will achieve best practice/ industry leading standards (please provide further detail or evidence)</p> <p>23.1 The programme will deliver carbon and energy efficiency improvements in the most energy intensive operational buildings.</p>

	<p>23.2 The Energy and Sustainability Team will be further consulted during the design and specification drafting stage to ensure all designs are compliant with existing City Corporation plans. All measures to be installed are consistent with the Climate Action targets and they go above and beyond the legal and regulatory energy performance obligations of the Operational Buildings.</p> <p>23.3 The programme is aimed to improve the resilience of the City Corporation operations and reduce the overall cost of operation.</p>
24. IS implications	<p>24.1 Consultation with the City Corporation IT will be required for some projects which rely on IT networks e.g., Building Energy Management Systems Upgrades.</p> <p>24.2 No cost implications are envisaged for the City Corporation IT department.</p>
25. Equality Impact Assessment	25.1 An equality impact assessment will not be undertaken
26. Data Protection Impact Assessment	26.1 The risk to personal data is less than high or non-applicable and a data protection impact assessment will not be undertaken

Appendices

Appendix 1	Detail Project Information
Appendix 2	Risk Register
Appendix 3	Project Briefing

Background Information

Resource Allocation Sub (Policy and Resources Committee) Committee, Monday 7th Sept 2020

Contact

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Climate Action Capital Delivery – Phase 1

Appendix 1. Detailed Project Information

A1.1. Key Figures

Portfolio Highlights							
Total Project Cost (ex. risk)	Total Costed Risk (Inflation adjusted)	Total Project cost (Risk + inflation adjusted)	Total Annual CO ₂ Saving	Total Annual Energy Saving	Projected Energy Cost Savings	Portfolio Avg. Payback (years)	Portfolio Avg. £/tCO ₂
£	£	£	tCO ₂	kWh	£		
£5,311,867	£1,274,847	£6,586,711	520	3,235,302	£551,329	9.6	£ 10,233

A.1.2. Project List

Site Details	Intervention details	Project Manager / Lead Officer	Total project cost - Excluding risk (£)	Total costed Risk (£)	Total Project cost (inc. risk)	Projected Costs Savings	Projected Payback Period	Annual Energy Savings	Annual Carbon Savings (100's tCO ₂)	Fund
OS Hampstead Heath: Lido	Lido Hampstead Health Solar PV - Phase 2	Mark Donaldson	£106,740	£25,618	£132,358	£8,958	11.1	38,946.0	0.0053	City's Cash
OS Hampstead Heath - Kenwood House	Kenwood Nursery Solar PV	Mark Donaldson	£56,479	£13,555	£70,034	£5,596	9.4	24,332.4	0.0033	City's Cash
OS: Marlewood Estate	Marlewood Estate Solar PV	Mark Donaldson	£91,018	£21,844	£112,863	£11,237	7.6	48,855.3	0.0067	City's Cash
London Metropolitan Archives	Insulation of internal heating pipework and fittings	Mark Donaldson	£2,789	£669	£3,458	£797	3.3	7,970.0	0.0014	City Fund

Site Details	Intervention details	Project Manager / Lead Officer	Total project cost - Excluding risk (£)	Total costed Risk (£)	Total Project cost (inc. risk)	Projected Costs Savings	Projected Payback Period	Annual Energy Savings	Annual Carbon Savings (100's tCO2)	Fund
London Metropolitan Archives	Installation of solar pv array on roof of main building	Mark Donaldson	£109,337	£26,241	£135,578	£16,849	6.1	49,861.0	0.0068	City Fund
OS Epping Forest - The Warren	Cavity Wall Insulation - the Office	Mark Donaldson	£24,443	£5,866	£30,309	£97	236.2	967.0	0.0002	City's Cash
OS Epping Forest - The Warren	Cavity Wall Insulation - the Ancillary Barn	Mark Donaldson	£15,375	£3,690	£19,065	£61	236.3	608.0	0.0001	City's Cash
OS Epping Forest - The Warren	Cavity Wall Insulation - the workshop	Mark Donaldson	£16,016	£3,844	£19,859	£171	87.7	1,707.0	0.0003	City's Cash
OS Epping Forest - The Warren	Loft insulation - the Office	Mark Donaldson	£12,575	£3,018	£15,593	£128	92.0	1,278.0	0.0002	City's Cash
OS Epping Forest - The Warren	LED Lighting - the Office	Mark Donaldson	£22,730	£5,455	£28,185	£1,113	19.1	4,838.4	0.0007	City's Cash
OS Epping Forest - The Warren	LED Lighting - the Ancillary Barn	Mark Donaldson	£5,682	£1,364	£7,046	£1,217	4.4	5,292.0	0.0007	City's Cash
OS Epping Forest - The Warren	BEMS upgrade	Mark Donaldson	£48,862	£11,727	£60,589	£686	66.6	6,023.0	0.0010	City's Cash
OS Epping Forest - The Warren	Biomass boiler installation	Mark Donaldson	£93,191	£22,366	£115,557	£6,419	13.6	6,010.0	0.0166	City's Cash
Walbrook Wharf Cleansing Depot	Ventilation EC Fan Replacements	Mark Donaldson	£29,371	£7,049	£36,420	£17,364	1.6	75,494.7	0.0103	City Fund
Walbrook Wharf Cleansing Depot	Replace gas boilers and LTHW pumps with ASHPs and new pumps for Phase 2 (Main office) building	Mark Donaldson	£538,149	£129,156	£667,305	£11,205	40.7	226,871.9	0.0436	City Fund

Site Details	Intervention details	Project Manager / Lead Officer	Total project cost - Excluding risk (£)	Total costed Risk (£)	Total Project cost (inc. risk)	Projected Costs Savings	Projected Payback Period	Annual Energy Savings	Annual Carbon Savings (100's tCO2)	Fund
Guildhall Complex	Replacement of North Wing pumps	Mark Donaldson	£106,431	£25,544	£131,975	£25,316	3.9	110,070.7	0.0150	City Cash 50% / City Fund 50%
Guildhall Complex	LED lighting for external Guildhall	Mark Donaldson	£15,527	£3,726	£19,253	£2,488	5.8	10,815.9	0.0015	City Cash 50% / City Fund 50%
Guildhall Complex	LED lighting for Dance Porch	Mark Donaldson	£15,427	£3,702	£19,129	£1,309	11.0	5,690.4	0.0008	City Cash 50% / City Fund 50%
Guildhall Complex	LED lighting for City Centre Exhibition	Mark Donaldson	£50,229	£12,055	£62,284	£3,848	12.2	16,729.9	0.0023	City Cash 50% / City Fund 50%
Guildhall Complex	LED lighting for Amphitheatre	Mark Donaldson	£53,669	£12,881	£66,550	£7,152	7.0	31,095.9	0.0042	City Cash 50% / City Fund 50%
Guildhall Complex	LED lighting for East Wing	Mark Donaldson	£110,264	£26,463	£136,727	£8,459	12.2	36,779.0	0.0050	City Cash 50% / City Fund 50%
Guildhall Complex	LED lighting for North Wing	Mark Donaldson	£41,415	£9,939	£51,354	£5,335	7.3	23,193.6	0.0032	City Cash 50% / City Fund 50%
Guildhall Complex	North Wing AHUs	Mark Donaldson	£65,488	£15,717	£81,206	£3,429	17.8	14,909.0	0.0020	City Cash 50% / City Fund 50%
Guildhall Complex	East Wing AHUs	Mark Donaldson	£80,946	£19,427	£100,373	£13,934	5.4	60,584.6	0.0083	City Cash 50% / City Fund 50%

Site Details	Intervention details	Project Manager / Lead Officer	Total project cost - Excluding risk (£)	Total costed Risk (£)	Total Project cost (inc. risk)	Projected Costs Savings	Projected Payback Period	Annual Energy Savings	Annual Carbon Savings (100's tCO2)	Fund
Barbican Arts Centre	BEMS Optimisation	Mark Donaldson	£32,100	£7,704	£39,804	£41,064	0.7	264,344.0	0.0255	City Fund
Central Criminal Court	BEMS Optimisation incl. Building Advisor roll out (Phase 2)	Brendan Crowley	£146,713	£35,211	£181,924	£14,109	9.7	108,570.0	0.0182	City Fund
London Metropolitan Archives	BEMS Optimisation	Brendan Crowley	£10,875	£2,610	£13,486	£5,131	2.0	31,485.0	0.0050	City Fund
Walbrook Wharf Cleansing Depot	BEMS Optimisation incl. Building Advisor roll out (Phase 2)	Brendan Crowley	£45,232	£10,856	£56,088	£9,210	4.6	65,219.0	0.0107	City Fund
Mansion House	BEMS Optimisation incl. Building Advisor roll out (Phase 2)	Brendan Crowley	£89,099	£21,384	£110,483	£10,584	7.9	82,751.0	0.0139	City's Cash
New Street (21)	BEMS Optimisation	Brendan Crowley	£10,864	£2,607	£13,471	£4,786	2.1	29,180.0	0.0046	City Fund
Bishopsgate Police Station	BEMS Optimisation	Brendan Crowley	£10,158	£2,438	£12,595	£13,106	0.7	115,817.0	0.0200	City Fund
Tower Bridge	BEMS Optimisation incl. Building Advisor roll out (Phase 2)	Brendan Crowley	£46,645	£11,195	£57,839	£7,048	6.2	64,462.0	0.0112	Bridge House Estates
Heathrow Animal Reception Centre	BEMS Optimisation	Brendan Crowley	£8,521	£2,045	£10,567	£3,457	2.3	27,930.0	0.0047	City Fund
City of London Cemetery & Crematorium	BEMS Optimisation	Brendan Crowley	£7,804	£1,873	£9,676	£2,108	3.5	17,890.3	0.0031	City Fund
Open Spaces - Epping Forest	BEMS Optimisation	Brendan Crowley	£12,041	£2,890	£14,930	£1,463	7.7	12,855.0	0.0022	City's Cash

Site Details	Intervention details	Project Manager / Lead Officer	Total project cost - Excluding risk (£)	Total costed Risk (£)	Total Project cost (inc. risk)	Projected Costs Savings	Projected Payback Period	Annual Energy Savings	Annual Carbon Savings (100's tCO2)	Fund
Barbican Arts Centre	Heating Improvments	Brendan Crowley	£154,824	£37,158	£191,981	£41,373	4.0	-	-	City Fund
Barbican Arts Centre	BAC - Theatre Fly Tower, sub-stage, Control Room	Edmund Tran	£38,384	£9,212	£47,596	£19,076	2.0	78,084.0	0.0107	City Fund
Barbican Arts Centre	EC Fan Replacements	Edmund Tran	£274,736	£65,937	£340,673	£38,459	7.0	157,427.0	0.0215	City Fund
Barbican Arts Centre	Lighting Phase 2	Edmund Tran	£732,954	£175,909	£908,863	£19,800	36.0	81,050.0	0.0111	City Fund
Barbican Arts Centre	Concert Hall Lighting (Combined with CWP)	Edmund Tran	£241,543	£57,970	£299,513	£27,158	10.0	111,168.0	0.0152	City Fund
Barbican Arts Centre	Theatre Lighting (Combined with CWP)	Edmund Tran	£340,056	£81,613	£421,669	£21,299	18.0	87,185.0	0.0119	City Fund
GSMD	LED Lighting	Edmund Tran	£380,339	£91,281	£471,620	£28,055	13.0	114,840.0	0.0157	City's Cash
GSMD	BEMS Optimisation	Edmund Tran	£7,195	£1,727	£8,921	£5,594	1.0	22,897.0	0.0031	City's Cash
GSMD	EC Fan Replacements	Edmund Tran	£189,394	£45,455	£234,849	£5,584	33.0	22,858.0	0.0031	City's Cash
GSMD	Steam Humidification	Edmund Tran	£26,979	£6,475	£33,454	£1,421	18.0	5,816.0	0.0008	City's Cash
Mansion House	Heat Pump	Edmund Tran	£481,631	£115,591	£597,223	£26,568	16.0	681,429.0	0.1319	City's Cash
Mansion House	Draft Improvements	Rodrigo Matabuena	£26,028	£6,247	£32,274	£3,088	8.0	30,884.0	0.0055	City's Cash
Mansion House	Heating Improvments	Rodrigo Matabuena	£6,459	£1,550	£8,009	£5,797	1.0	33,632.0	0.0053	City's Cash
Mansion House	LED Lighting Replacements	Rodrigo Matabuena	£146,239	£35,097	£181,336	£18,371	8.0	75,200.0	0.0103	City's Cash
Mansion House	Fan Replacements	Rodrigo Matabuena	£31,443	£7,546	£38,989	£11,770	3.0	48,180.0	0.0066	City's Cash

Site Details	Intervention details	Project Manager / Lead Officer	Total project cost - Excluding risk (£)	Total costed Risk (£)	Total Project cost (inc. risk)	Projected Costs Savings	Projected Payback Period	Annual Energy Savings	Annual Carbon Savings (100's tCO2)	Fund
Mansion House	Ventilation Improvments	Rodrigo Matabuena	£55,634	£13,352	£68,986	£11,284	5.0	46,191.0	0.0063	City's Cash
Mansion House	Insulation (Pipework)	Rodrigo Matabuena	£2,307	£554	£2,861	£114	19.0	1,144.0	0.0002	City's Cash
Walbrook Wharf Cleansing Depot	Heating (Pumps & Valves)	Rodrigo Matabuena	£24,792	£5,950	£30,742	£1,284	18.0	7,890.0	0.0013	City Fund
Guildhall Complex	PowerTag Sub metering (BEMS) Pilot project	Mark Donaldson	£8,025	£1,926	£9,951	£0	-	-	-	City Cash 50% / City Fund 50%
Housing - General	Housing Estates BEMS (Trend) integration with Main CoL BEMS	Brendan Crowley	£10,700	£2,568	£13,268	£0	-	-	-	City Fund

A.1.3. Delivery Programme

Site	Project Activity	Start date	Duration (Months)	Completion (%)	Months																									
					1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26
					Dec-22	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23	Sep-23	Oct-23	Nov-23	Dec-23	Jan-24	Feb-24	Mar-24	Apr-24	May-24	Jun-24	Jul-24	Aug-24	Sep-24	Oct-24	Nov-24	Dec-24	Jan-25
OS Hampstead Heath: Lido	Lido Hampstead Heath Solar PV - Phase 2	Oct-23	8	0%																										
OS Hampstead Heath - Kenwood House	Kenwood Nursery Solar PV	Jun-23	8	0%																										
OS: Marlewood Estate	Marlewood Estate Solar PV	Jun-23	8	0%																										
London Metropolitan Archives	Insulation of internal heating pipework and fittings	Apr-23	12	0%																										
London Metropolitan Archives	Installation of solar pv array on roof of main building	Aug-23	10	0%																										
OS Epping Forest - The Warren	Cavity Wall Insulation - the Office	Oct-23	15	0%																										
OS Epping Forest - The Warren	Cavity Wall Insulation - the Ancillary Barn	Oct-23	3	0%																										
OS Epping Forest - The Warren	Cavity Wall Insulation - the workshop	Oct-23	3	0%																										
OS Epping Forest - The Warren	Loft insulation - the Office	Jan-24	2	0%																										
OS Epping Forest - The Warren	LED Lighting - the Office	Jan-24	4	0%																										
OS Epping Forest - The Warren	LED Lighting - the Ancillary Barn	Jan-24	4	0%																										
OS Epping Forest - The Warren	BEMS upgrade	Oct-23	9	0%																										
OS Epping Forest - The Warren	Biomass boiler installation	Oct-23	9	0%																										
Walbrook Wharf Cleansing Depot	Ventilation EC Fan Replacements	Jun-23	7	0%																										
Walbrook Wharf Cleansing Depot	Replace gas boilers and LTHW pumps with ASHPs and new pumps for Phase 2 (Main office) building	Jun-23	7	0%																										
Guildhall Complex	Replacement of North Wing pumps	Jun-23	10	0%																										
Guildhall Complex	LED lighting for external Guildhall	Jun-23	4	0%																										
Guildhall Complex	LED lighting for Dance Porch	Jul-23	4	0%																										
Guildhall Complex	LED lighting for City Centre Exhibition	Aug-23	4	0%																										
Guildhall Complex	LED lighting for Amphitheatre	Sep-23	5	0%																										
Guildhall Complex	LED lighting for East Wing	Oct-23	6	0%																										
Guildhall Complex	LED lighting for North Wing	Nov-23	7	0%																										
Guildhall Complex	North Wing AHUs	Jan-24	9	0%																										
Guildhall Complex	East Wing AHUs	Feb-24	9	0%																										
Barbican Arts Centre	BEMS Optimisation	Jul-23	3	0%																										
Central Criminal Court	BEMS Optimisation incl. Building Advisor roll out (Phase 2)	Jul-23	3	0%																										
London Metropolitan Archives	BEMS Optimisation	Jul-23	3	0%																										
Walbrook Wharf Cleansing Depot	BEMS Optimisation incl. Building Advisor roll out (Phase 2)	Sep-23	4	0%																										
Mansion House	BEMS Optimisation incl. Building Advisor roll out (Phase 2)	Sep-23	4	0%																										
New Street (21)	BEMS Optimisation	Sep-23	4	0%																										
Bishopsgate Police Station	BEMS Optimisation	Sep-23	4	0%																										
Tower Bridge	BEMS Optimisation incl. Building Advisor roll out (Phase 2)	Dec-23	5	0%																										
Heathrow Animal Reception Centre	BEMS Optimisation	Dec-23	5	0%																										
City of London Cemetery & Crematorium	BEMS Optimisation	Dec-23	5	0%																										
Open Spaces - Epping Forest	BEMS Optimisation	Dec-23	5	0%																										
Barbican Arts Centre	Heating Improvements	Feb-24	8	0%																										
Barbican Arts Centre	BAC - Theatre Fly Tower, sub-stage, Control Room	Feb-24	8	0%																										
Barbican Arts Centre	EC Fan Replacements	Feb-24	8	0%																										
Barbican Arts Centre	Lighting Phase 2	Feb-24	8	0%																										
Barbican Arts Centre	Concert Hall Lighting (Combined with CWP)	Feb-24	8	0%																										
Barbican Arts Centre	Theatre Lighting (Combined with CWP)	Feb-24	8	0%																										
GSMD	LED Lighting	Apr-24	8	0%																										
GSMD	BEMS Optimisation	Apr-24	8	0%																										
GSMD	EC Fan Replacements	Apr-24	8	0%																										
GSMD	Steam Humidification	Apr-24	8	0%																										
Mansion House	Heat Pump	Mar-24	9	0%																										
Mansion House	Draft Improvements	May-23	4	0%																										
Mansion House	Heating Improvements	Jun-23	7	0%																										
Mansion House	LED Lighting Replacements	Sep-23	6	0%																										
Mansion House	Fan Replacements	Jan-24	5	0%																										
Mansion House	Ventilation Improvements	Feb-24	5	0%																										
Mansion House	Insulation (Pipework)	Jun-23	7	0%																										
Walbrook Wharf Cleansing Depot	Heating (Pumps & Valves)	Sep-23	4	0%																										
Guildhall Complex	PowerTag Sub metering (BEMS) Pilot project	Feb-23	1	0%																										
Housing - General	Housing Estates BEMS (Trend) integration with Main CoL BEMS	Oct-23	5	0%																										

A 1.4 Budget expenditure progression

Financial Year		
2022/23	2023/24	2024/25
£8,000	£1,675,000	£3,629,000

A 1.5 Sites in scope of the CAS Capital programme

Central Criminal Court
 Guildhall Complex
 City of London Freeman's School
 City of London School
 Billingsgate Market
 Mansion House
 Tower Bridge
 Walbrook Wharf Cleansing Depot
 London Metropolitan Archives
 London Central Market (Smithfield)
 Barbican Arts Centre
 City of London School For Girls
 New Spitalfields Market (Landlords)
 GSMD - Sundial Court
 GSMD

A1.6 Property specific stakeholders

Project	Key stakeholders	
Barbican Arts Centre	Jonathon Poyner	Julie Fittock
Central Criminal Court	Adam Rout	Nicholas Welland
Billingsgate Market	Dan Ritchie - Markets	Steven Chandler
Walbrook Wharf Cleansing Depot	Dorian Price	Julie Fittock
City of London School For Girls	John Hall - Bursar	Julie Fittock
City of London Cemetery & Crematorium		
GSMD	Jonathon Poyner	Julie Fittock
City of London Freeman's School	Oonagh O'Mahoney	Nicholas Welland
Guildhall Complex		
City of London School	Arnold Flanagan - Bursar	Julie Fittock
Heathrow Animal Reception Centre	Susie Pritchard	Julie Fittock
London Central Market (Smithfield)		Steven Chandler
London Metropolitan Archives	Tim Harris	Steven Chandler
LMA & Walbrook Wharf	Dorian Price	Julie Fittock
Mansion House	Nina Tsindides	Nicholas Welland
Open Spaces - Epping Forest	Paul Thompson	Nicholas Welland
OS Epping Forest - The Warren	Paul Thompson	Nicholas Welland
New Spitalfields Market	Emma Beard - Markets	Steven Chandler

New Street (21)	Martin O'Regan - CoLP	Julie Fittock
OS Hampstead Heath - Kenwood House	Stefania Horne	Julie Fittock
OS Hampstead Heath: Lido	Julie Fittock	
OS Epping Forest: Harrow Road	Nicholas Welland	
Tower Bridge	Jamie Bottono	Natasha Curson
Tower Hill Coach & Car Park	Ken Stone - DBE	Julie Fittock

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City of London: Projects Procedure Corporate Risks Register

Project Name: CAS Capital Delivery Programme		PM's overall risk rating: Medium	CRP requested this gateway: £ -	Average unmitigated risk: 8.9	Open Risks: 7
Unique project identifier: TBC		Total estimated cost (exc risk): £ 5,311,867	Total CRP used to date: £ -	Average mitigated risk score: 3.9	Closed Risks: 0

General risk classification										Mitigation actions										Ownership & Action			
Risk ID	Gateway	Category	Description of the Risk	Risk Impact Description	Likelihood Classification pre-mitigation	Impact Classification pre-mitigation	Risk score	Costed Impact pre-mitigation (£)	Costed Risk Provision requested Y/N	Confidence in the estimation	Mitigating actions	Mitigation cost (£)	Likelihood Classification post-mitigation	Impact Classification post-mitigation	Costed impact post-mitigation (£)	Post-Mitigation risk score	CRP used to date	Use of CRP	Date raised	Named Departmental Risk Manager/ Coordinator	Risk owner (Named Officer or External Party)	Date Closed OR/ Realised & moved to issues	Comment(s)
R1	5	(2) Financial	Inflation rate increasing up to 15%	The overall cost of the projects will increase with labour intensive projects being less exposed to inflationary changes.	Likely	Major	16	£800,792.00	N	C - Uncomfortable	Allocate a budget to absorb a 15% inflation increase	£796,780.00	Likely	Minor	£0.00	4	£0.00	N/A	01/11/22	City Surveyor's, Corporate Energy Team	Rodrigo Matabuena		None of the Risks identified will be materialised at this GW stage. More quantifiable detail will emerge in subsequent GW stages.
R2	5	(2) Financial	Delays on program implementation due lack of dedicated project management resource	Programme failing to meet delivery deadlines	Possible	Serious	6	£106,772.00	N	C - Uncomfortable	The total project cost has been uplifted with a 7% provision for project management fees. A dedicated project manager is expected to be appointed to deliver the programme. Early engagement with Minor Projects Team to assess resource allocation	£107,565.14	Possible	Minor	£0.00	3	£0.00	N/A	01/11/22	City Surveyor's, Corporate Energy Team	Rodrigo Matabuena		
R3	5	(4) Contractual/Partnership	Partnership with Vital Energy failing to deliver the projects as expected	Delays in the delivery of the programme. Additional procurement activities to source new contractors. Additional work and/or variation of works	Possible	Serious	6	£266,931.00	N	B - Fairly Confident	Review potential procurement routes for appointing new contractors. Allocating the necessary resources to ensure there is a close monitoring of Vital's activities.	£262,937.02	Possible	Minor	£0.00	3	£0.00	N/A	01/11/22	City Surveyor's, Corporate Energy Team	Rodrigo Matabuena		
R4	5	(5) H&S/Wellbeing	Asbestos Management	New asbestos surveys and potentially works to remove some asbestos.	Likely	Major	16	£106,772.00	N	C - Uncomfortable	Good project planning driven by competent appointed Project Manager. To minimise the likelihood and impact of known or potential disruption. This could include the timing of works, provision of temporary alternative services, and ensuring this is well communicated to stakeholders. Good selection of Main Contractor. Good communication between the project team and stakeholders.	£107,565.14	Likely	Minor	£0.00	4	£0.00	N/A	01/11/22	City Surveyor's, Corporate Energy Team	Rodrigo Matabuena		
R5	5	(2) Financial	Reduction on energy prices	A reduction on the energy prices would directly impact the financial performance of the proposed activities, increasing the length of the paybacks.	Possible	Serious	6	£0.00	N	C - Uncomfortable	Forecast the financial performance with conservative figures and update them regularly to ensure there is transparency in the projected financial performance. Procure contractors via Energy Performance Contract with guaranteed savings.	£0.00	Possible	Serious	£0.00	6	£0.00	N/A	01/11/22	City Surveyor's, Corporate Energy Team	Rodrigo Matabuena		
R6	2	(4) Contractual/Partnership	Site changes tenancy status forcing early decommissioning of the assets	Financial savings are not materialised	Possible	Serious	6	£0.00	N	D - Very Uncomfortable	Continuous consultation with asset managers throughout the implementation of the programme, ensuring the payback of any measures to be installed is within the life expectancy of the buildings / leases.	£0.00	Rare	Minor	£0.00	1	£0.00	N/A	01/11/22	City Surveyor's, Corporate Energy Team	Rodrigo Matabuena		
R7	5	(2) Financial	Delays to decision making or surveys due to a significant outbreak of the Corona virus.	Delays to project programme.	Possible	Serious	6	£0.00	N	B - Fairly Confident	Revise project programme as required	£0.00	Possible	Serious	£0.00	6	£0.00	N/A	01/11/22	City Surveyor's, Corporate Energy Team	Rodrigo Matabuena		
R8							£0.00				£0.00			£0.00		£0.00							
R9							£0.00				£0.00			£0.00		£0.00							
R10							£0.00				£0.00			£0.00		£0.00							
R11							£0.00				£0.00			£0.00		£0.00							
R12							£0.00				£0.00			£0.00		£0.00							
R13							£0.00				£0.00			£0.00		£0.00							
R14							£0.00				£0.00			£0.00		£0.00							
R15							£0.00				£0.00			£0.00		£0.00							
R16							£0.00				£0.00			£0.00		£0.00							
R17							£0.00				£0.00			£0.00		£0.00							
R18							£0.00				£0.00			£0.00		£0.00							
R19							£0.00				£0.00			£0.00		£0.00							
R20							£0.00				£0.00			£0.00		£0.00							
R21							£0.00				£0.00			£0.00		£0.00							
R22							£0.00				£0.00			£0.00		£0.00							
R23							£0.00				£0.00			£0.00		£0.00							
R24							£0.00				£0.00			£0.00		£0.00							
R25							£0.00				£0.00			£0.00		£0.00							
R26							£0.00				£0.00			£0.00		£0.00							
R27							£0.00				£0.00			£0.00		£0.00							
R28							£0.00				£0.00			£0.00		£0.00							
R29							£0.00				£0.00			£0.00		£0.00							
R30							£0.00				£0.00			£0.00		£0.00							
R31							£0.00				£0.00			£0.00		£0.00							
R32							£0.00				£0.00			£0.00		£0.00							
R33							£0.00				£0.00			£0.00		£0.00							
R34							£0.00				£0.00			£0.00		£0.00							
R35							£0.00				£0.00			£0.00		£0.00							

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Project Briefing

Project identifier			
[1a] Unique Project Identifier	TBC	[1b] Departmental Reference Number	N/A
[2] Core Project Name	Climate Action Strategy (CAS) – Capital Delivery Programme for Operational Buildings		
[3] Programme Affiliation (if applicable)	No. This is a standalone, brand new programme of interventions.		

Ownership	
[4] Chief Officer has signed off on this document	Paul Wilkinson
[5] Senior Responsible Officer	Peter Collins
[6] Project Manager	Rodrigo Matabuena, Edmund Tran, Mark Donaldson

Description and purpose					
[7] Project Description					
This programme covers a portfolio of capital interventions to be delivered to decarbonise the most carbon intensive City of London operational buildings, in line with the Climate Action targets.					
[8] Definition of Need: What is the problem we are trying to solve or opportunity we are trying to realise (i.e. the reasons why we should make a change)?					
The Climate Action Strategy, adopted by the Court of Common Council on 8 th October, 2020, set out some ambitious CO2 reduction targets for the most carbon intensive operational buildings. The proposed program of interventions is aimed at decarbonising as much as financially and technically possible such buildings.					
[9] What is the link to the City of London Corporate plan outcomes?					
[5] Businesses are trusted and socially and environmentally responsible. [7] We are a global hub for innovation and enterprise. [8] We attract and nurture relevant skills and talent. [9] Our spaces are secure, resilient and well-maintained. [10] Our physical spaces have clean air, land and water and support a thriving and sustainable natural environment.					
[10] What is the link to the departmental business plan objectives?					
Within the Climate Action Strategy framework, it is City Surveyor's responsibility to implement measures that would ensure the compliance of the Operational Buildings with the decarbonisation objectives set out by the strategy. In addition, the Energy and Sustainability team has been tasked with the delivery of the "Net Zero 1: Corporate Property and Housing Landlord Areas" Workstream targets.					
[11] Note all which apply:					
Officer: Project developed from Officer initiation	N	Member: Project developed from Member initiation	N	Corporate: Project developed as a large scale Corporate initiative	Y
Mandatory:	Y	Sustainability:	Y	Improvement:	Y

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Compliance with legislation, policy and audit		Essential for business continuity		New opportunity/ idea that leads to improvement	
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Project Benchmarking:	
[12] What are the top 3 measures of success which will indicate that the project has achieved its aims? <These should be impacts of the activity to complete the aim/objective, rather than 'finishes on time and on budget'>>	
1) The programme is expected to deliver carbon savings of c. 520 tonnes per year.	
2) The programme is expected to deliver £550,000 in savings per year	
3) The program will maximise the potential decarbonisation of CoL's most carbon intensive buildings	
[13] Will this project have any measurable legacy benefits/outcome that we will need to track after the end of the 'delivery' phase? If so, what are they and how will you track them? (E.g. cost savings, quality etc.)	
Yes, Each individual project will have to undergo a Monitoring and Verification (M&V) process after implementation, to ensure the energy and cost savings are met.	
[14] What is the expected delivery cost of this project (range values)[£]?	
Lower Range estimate: £5,312,000 Upper Range estimate: £6,587,000	
[15] Total anticipated on-going revenue commitment post-delivery (lifecycle costs)[£]:	
The program is expected to be revenue positive post delivery as it will generate savings in the region of £550,000 per year.	
[16] What are the expected sources of funding for this project?	
Climate Action Strategy Fund	
[17] What is the expected delivery timeframe for this project (range values)? Are there any deadlines which must be met (e.g. statutory obligations)?	
Lower Range estimate: January 2023 – June 2024 Upper Range estimate: January 2023– April 2025 Critical deadline(s): - GW2 approval (December 2022)	

Project Impact:	
[18] Will this project generate public or media impact and response which the City of London will need to manage? Will this be a high-profile activity with public and media momentum?	
No	
[19] Who has been actively consulted to develop this project to this stage? <(Add additional internal or external stakeholders where required) >	
Chamberlains: Finance	Officer Name: John James, Sonia Virdee
Chamberlains: Procurement	Officer Name: Darren Judge
IT	Officer Name: N/A
HR	Officer Name: N/A
Communications	Officer Name: N/A

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Corporate Property	Officer Name: Pete Collinson, Matt Baker, Richard Chamberlain, Jonathan Cooper, Paul Friend, Peter Young
External	N/A
<p>[20] Is this project being delivered internally on behalf of another department? If not ignore this question. If so: Please note the Client supplier departments. Who will be the Officer responsible for the designing of the project? If the supplier department will take over the day-to-day responsibility for the project, when will this occur in its design and delivery?</p>	
Client	Department:
Supplier	Department:
Supplier	Department:
Project Design Manager	Department:
Design/Delivery handover to Supplier	Gateway stage: <Before Project Proposal>, <Post Project Proposal>, <Post Options Appraisal>, <Post Detailed design>, <Post Authority to start work>

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Agenda Item 9

Committee(s): Police Authority Board – For Information Policy and Resources – For decision	Dated: 12/12/2022 15/12/2022
Subject: Renewal of the London Marathon Public Spaces Protection Order	Public
Which outcomes in the City Corporation’s Corporate Plan does this proposal aim to impact directly?	1,12
Does this proposal require extra revenue and/or capital spending?	N
If so, how much?	£
What is the source of Funding?	
Has this Funding Source been agreed with the Chamberlain’s Department?	N
Report of: Director of Community and Children’s Services	For Decision
Report author: Valeria Cadena – Community Safety Manager, Department of Community and Children’s Services	

Summary

This report seeks the support of Members to renew the current London Marathon Public Spaces Protection Order (PSPO) which expires in March 2023. It has effectively mitigated anti-social behaviour and violent disorder previously experienced with certain sections of the race route through the City of London.

Section 59 of the Anti-social Behaviour, Crime and Policing Act 2014 provides local authorities with the power to make Public Spaces Protection Orders. PSPOs are intended to deal with a particular nuisance or problem in a specific area that is detrimental to the local community’s quality of life, by imposing certain conditions or prohibitions.

The current PSPO has been active since March 2020. It has been pivotal in preventing and reducing crime and disorder during the London Marathon. It has been so effective that we haven’t experienced any problems of the nature we had to endure before March 2020. It is proposed that the City of London Corporation renew the PSPO for another 3 years before its expiration.

If Members support the renewal, the formal order will be drafted and put to the Court of Common Council for final agreement.

Recommendation(s)

Members of Policy and Resources are asked:

- to support the renewal of the PSPO – extending it for three further years - so a formal order can be drafted and presented to the Court for approval

Main Report

Background

1. The London Marathon is part of the World Marathon Majors. The event takes place in spring every year and part of the route is through the City of London. Problems with visitors during the day of the event were a serious problem for several years in the locality of the Marathon route. The primary issue was related to large groups of young adults consuming alcohol and drugs, particularly nitrous oxide, while the London Marathon was taking place. This contributed to considerable Anti-social Behaviour (ASB) and violent disorder.
2. Despite the preparation and work of the City police and the City Corporation in 2019 as the day progressed, the atmosphere at the London Marathon became increasingly hostile and eventually resulted in arrests for violent disorder, grievous bodily harm and possession of class A drugs. While assisting in an arrest one of the Police horses fell, trapping the mounted officer under the horse, and resulting in the officer receiving a broken ankle.
3. Public Order Officers assigned to the event, who are used to dealing with high levels of disorder, were taken aback with the level of disorder and how quickly the situation escalated. Despite having 20 Public Order Officers available in the area, another 40 officers were required to deal with the problems. In total over 100 City of London Police Officers were deployed to this relatively small geographical area to contain the situation.
4. In response to the recurrent issues of anti-social behaviour and serious violent public disorder in 2019 and previous years on the 5 March 2020, the City of London Court of Common Council ratified the City of London Marathon PSPO¹.
5. The PSPO granted the City of London Police additional powers to prevent public drinking in specific areas, by refusing entry to designated areas to those carrying alcohol or nitrous oxide, or by confiscation of these by those within the area. Those persons contravening the PSPO could be issued with a Fixed Penalty Notice (FPN) of £100.

Current Position

6. Due to the COVID-19 pandemic, the PSPO was not deployed until the October 2021, when the London Marathon returned to its usual route through the City of London.

¹ See Appendix 1

7. During the October 2021 and October 2022 races, no FPNs were issued, and no arrests were made by the City of London Police during both events in comparison to the seven arrests made in 2019.
8. The PSPO has proved invaluable in reducing antisocial behaviour and public disorder during the London Marathon. The PSPO is advertised on the City Corporation's website and social media ahead of the Marathon race to raise public awareness of the prohibitions during the day. Businesses and licensed premises are also informed of the consequences of excessive alcohol consumption and the extended police powers on the day of the Marathon. This has translated in no further serious issues during the day.
9. Section 60 of the Anti-Social Behaviour, Crime and Policing Act 2014, stipulates that a PSPO is valid for up to 3 years. Therefore, the current London Marathon PSPO will remain valid until March 2023. However, the PSPO will not cover the next race which is due to occur on the 23 April 2023.
10. There are serious concerns held by partners, that without extending the London Marathon PSPO and the powers associated with the order, the ASB and disorder previously experienced before its implementation will return, causing significant reputational and corporate damage.
11. Before the time when a PSPO is due to expire, the Corporation (i.e. the local authority) may extend the order period for which it has effect if satisfied on reasonable grounds that doing so is necessary to prevent the occurrence or recurrence after that time of the activities identified in the original order.

Consultation

12. The current proposal for the extension of the PSPO beyond March 2023 is supported by the Corporation's Highways and Public Protection teams, the City of London Police, Bronze Group for the London Marathon and the Safer City Partnership (the Community Safety Partnership for the City of London)
13. A public consultation for feedback on the proposed renewal of the PSPO was open in the City of London Corporation Website for 4 weeks between October and November 2022, through which there were no objections expressed.

Proposal

14. It is proposed that the PSPOS is renewed for a further three years. If Policy and Resources Committee support this approach the formal order will be place before the Court of Common Council for approval.

Conclusion

15. An extension of the current London Marathon PSPO for a further 3 years would demonstrate that the Corporation continues to work in partnership and take steps to safeguard the public from antisocial behaviour and public

disorder, protect this important global event and make the most effective use of Police resources.

Appendices

- Appendix 1 – Public Space Protection Order
- Appendix 2 – Statement by City of London Police Bronze commander
- Appendix 3 – City of London Police debrief London Marathon 2022

Background Papers

16. Seeking a Public Space Protection Order – London Marathon Related Disorder. Policy and Resources Committee on 21 November 2019.

Valeria Cadena

Community Safety Manager

E: Valeria.Cadena@cityoflondon.gov.uk



COMPTROLLER & CITY SOLICITOR

**CITY OF LONDON
LONDON MARATHON
PUBLIC SPACE PROTECTION
ORDER**

SECTION 59 ANTI-SOCIAL BEHAVIOUR AND POLICING ACT 2014

PUBLIC SPACES PROTECTION ORDER

The Mayor and Commonalty and Citizens of the City of London ("the City") being satisfied that the conditions as set out in section 59(2) and (3) of the Anti-social Behaviour, Crime and Policing Act 2014 ("the Act") are met hereby makes the following order :

1. This order shall be cited as "The City of London , London Marathon, Public Space Protection Order"
2. This order shall come into force on 5th March 2020 and shall remain in place for a period of three years unless extended by further orders.
3. The prohibitions contained in this order shall only apply between the hours of 00.01 to 23.59 on the day of the London Marathon.
4. This order applies to the streets, highways and public spaces detailed in Schedule 1 to this Order and shown delineated by a red line on the plan contained in Schedule 2 to this order hereinafter referred to as "the Designated Area".
5. Prohibitions
 - i) No person shall act (either individually or in a group of two or more people) in a manner likely to cause nuisance, harassment, alarm or distress in the Designated Area. Any person instructed by a constable or authorised person to leave the designated area must leave without delay and shall not return to the designated area for a period of 12 hours.
 - ii) Persons shall not within the Designated Area :
 - (a) continue to consume alcohol when required to stop by a constable or an authorised person, or

(b) fail to surrender any alcohol in their possession when required to do so by a constable or an authorised person

(iii) Persons shall not within the Designated Area :

(a) continue to ingest, inhale, inject smoke or otherwise use psychoactive substances when required to stop by a constable or an authorised person, or

(b) fail to surrender any psychoactive substance in their possession when required to do so by a constable or an authorised person

A “psychoactive substance” is defined as “a substance with the capacity to stimulate or depress the central nervous system” and, for the purposes of this Order, is deemed to include nitrous oxide.

6. An “authorised person” means a person authorised by the City for the purposes of s of Part 4, Chapter 2 of the Act
7. Any person who, without reasonable excuse, fails to comply with the prohibitions set out in paragraph 5 above commits an offence.
8. Any person guilty of an offence under paragraphs 5(i) and (iii) shall be liable on summary conviction to a fine not exceeding Level 3* on the Standard Scale.
9. Any person guilty of an offence under paragraph 5(ii) shall be liable on summary conviction to a fine not exceeding Level 2** on the Standard Scale.
10. A constable or authorised person may issue a fixed penalty notice (“FPN”) to any person believed to have committed an offence under paragraph 5. A person issued with a FPN will have 14 days to pay the fixed penalty of £100.00. Failure to pay the FPN may result in prosecution for the offence.
11. In accordance with the provisions of section 66 of the Act, any challenge to this Order must be made in the High Court by an interested person within 6 weeks of it being made. An interested person is someone who lives in, regularly works in, or visits the Designated Area. This means that only those who are directly affected by the restrictions have the right to challenge.

Interested persons can challenge the Order on two grounds; (1) that the City did not have the power to make the Order or to include particular prohibitions or requirements; or (2) that one of the requirements of the legislation, for instance consultation, has not been complied with.

Where an application is made, the High Court can decide to suspend the operation of the Order pending the Court's decision, in part or in whole. The High Court can uphold, quash, or vary the Order.

Dated 5th day of March 2020

**THE COMMON SEAL OF THE MAYOR AND
COMMONALTY AND CITIZENS
OF THE CITY OF LONDON was hereunto
affixed in the presence of:-**



Assistant City Solicitor

* - Currently up to £1,000

** - Currently up to £500

Schedule 1 to the City of London Marathon Public Space Protection Order

Streets and Highways Wholly or Partly Within the Designated Area as defined by the red boundary line on the map contained in Schedule 2 to this Order

A10
A3
A300
A3211
Allhallows Lane
America Square
Angel Lane
Arthur Street
Bakers Hall Court
Bell Wharf Lane
Bennet's Hill
Blackfriars Bridge
Blackfriars Passage
Blackfriars Underpass
Booth Lane
Botolph Alley
Botolph Lane
Brabant Court
Bridge Over Upper Thames Street
Broken Wharf
Bull Wharf Walk
Bush Lane
Byward Street
Cannon Street
Carlisle Avenue
Castle Baynard Street
City Walkway - Bell Wharf Lane To
Riverside Walkway
City Walkway - Grant's Quay Wharf To
Lower Thames Street
City Walkway - Monument Station
City Walkway - Paul's Walk To Blackfriars
Station
City Walkway - Queenhithe To Huggin Hill
City Walkway - Stairway To Swan Lane
City Walkway - Upper Thames Street To
King William Street
City Walkway - Upper Thames Street To
Laurence Poutney Hill

Cloak Lane
College Hill
College Street
Cooper's Row
Cousin Lane
Crescent
Cross Lane
Crosswall
Crutched Friars
Custom House Steps East
Custom House Walk
Dark House Walk
Doby Court
Dowgate Hill
Dunster Court
Eastcheap
Fenchurch Place
Fenchurch Street
Fish Street Hill
Fish Wharf
Fishmongers' Hall Wharf
Fowkes' Buildings
French Ordinary Court
Fruiterers Passage
Fye Foot Lane
Gardners Lane
Garlick Hill
Gloucester Court
Gophir Lane
Gracechurch Street
Grant's Quay Wharf
Great St Thomas Apostle
Great Tower Street
Great Trinity Lane
Hammett Street
Hanseatic Walk
Harp Lane
Hart Street
High Timber Street
Huggin Court
Huggin Hill
Idol Lane
India Street
Jewry Street
Kennett Wharf Lane
Lambeth Hill

Laurence Pountney Hill
Laurence Pountney Lane
Little College Lane
Little Trinity Lane
Lloyd's Avenue
London Bridge
London Street
Lovat Lane
Lower Thames Street
Mark Lane
Martin Lane
Millennium Bridge
Millennium Bridge House Access Road
Mincing Lane
Miniver Place
Minories
Minster Court

Minster Pavement
Monument Street
Muscovy Street
New London Street
Newcastle Court
Northumberland Alley
Old Billingsgate Walk
Old Watermen's Walk
Oystergate Walk
Passageway Between Fishmongers Hall
Wharf And Fish Wharf
Paul's Walk
Pepys Street
Peter's Hill
Petty Wales
Philpot Lane
Plantation Lane
Pudding Lane
Puddle Dock
Queen Street
Queen Street Place
Queen Victoria Street
Queenhithe
Rangoon Street
Rood Lane
Saracen's Head Yard
Savage Gardens

Scott's Yard
 Seething Lane
 Skinners Lane
 Sky Garden Walk
 Southwark Bridge
 St Benet's Place
 St Dunstan's Alley
 St Dunstan's Hill
 St Dunstan's Lane
 St George's Lane
 St Katherine's Row
 St Mary At Hill
 Star Alley
 Steelyard Passage
 Stew Lane
 Suffolk Lane
 Sugar Quay Walk
 Sunlight Wharf
 Swan Lane
 Talbot Court
 Three Barrels Walk
 Three Cranes Walk
 Three Quays Walk
 Tower Hill
 Tower Place
 Trig Lane
 Trinity Square
 Upper Thames Street
 Victoria Embankment
 Victoria Embankment Slip Road (n)
 Victoria Embankment Slip Road (s)
 Vine Street
 Vintner's Court
 Walbrook Wharf
 Water Lane
 White Lion Hill

Open Spaces Within the Designated Area

Senator House	Senator House, 85 Queen Victoria Street, London
Tower Hill Gardens	Tower Hill Garden, Tower Hill, London

Riverside Walk - Paul's Walk

City of London School for
Boys - Front Entrance
City of London School for
Boys - Bennet's Hill

Queen Street Shrub Bed
Eastcheap - St. Margaret
Pattens
Riverside Walk - Dark House
Walk
America Square
Queen Street / Cannon
Street
America Square
Queen Street / Cannon
Street
Riverside Walk - Dark House
Walk

Little Trinity Lane

Mark Lane - All Hallows
Staining Churchyard
Tower Place

Byward Street
College Hill - Newcastle
Court

All Hallows-by-the-Tower

The Temple - Inner Temple

Great Tower Street

White Lion - Baynard House

White Lion - Baynard House

Cleary Gardens
Mincing Lane - Dunster
Court
Tower Hill Gardens

From White Lion Hill to Millennium Bridge,
London

From White Lion Hill To Millennium Bridge,
Paul's Walk, London

Public Open Space, The Guild Church of St
Benet Paul's Wharf, Bennet's Hill, London

From Cannon Street To Queen Victoria
Street, Queen Street, London

Church Forecourt, The Guild Church of St
Margaret Pattens, Eastcheap, London

Dark House Walk, London

America Square, London

From Cannon Street To Queen Victoria
Street, Queen Street, London

America Square, London

From Cannon Street To Queen Victoria
Street, Queen Street, London

Dark House Walk, London

Open Space Outside St James Garlickhythe,
Garlick Hill, London

Old Burial Ground All Hallows, Mark Lane,
London

Tower Place, London

From Great Tower Street To Seething Lane,
Byward Street, London

Newcastle Court, London

All Hallows Church Gardens, Byward Street,
London

Inner Temple Gardens, Crown Office Row,
Inner Temple, London

From Mincing Lane To Byward Street, Great
Tower Street, London

Open Space, Baynard House, Queen Victoria
Street, London

Open Space, Baynard House, Queen Victoria
Street, London

Cleary Gardens, Queen Victoria Street,
London

Dunster Court, London

Tower Hill Garden, Tower Hill, London

Mincing Lane - Minster Court

St. Mary Somerset - Churchyard

St. Mary-at-Hill

St. Magnus-the-Martyr

St. Dunstan-in-the-East Churchyard

Lower Thames Street - Fish Wharf Garden

Lower Thames Street

Fowkes' Buildings

20 Fenchurch Street Pocket Park

Riverside Walk - Dark House Walk

Riverside Walk - Grant's

Quay Wharf

Sugar Quay Walk

Riverside Walk - Old

Billingsgate Walk

St. Benet's Church

Fenchurch Street - St.

Katherine Coleman CY

Riverside Walk - Paul's Walk

Riverside Walk - Victoria Embankment

Victoria Embankment

Victoria Embankment

Riverside Walk - Three

Cranes Walk

Riverside Walk - Walbrook Wharf

Riverside Walk - Hanseatic Walk

Riverside Walk -

Fishmongers' Hall Wharf

Riverside Walk - Pas btw

F'mongers Hall & Fish Whf

Riverside Walk - Fish Wharf

Minster Court, London

St Mary Somerset Garden, Upper Thames Street, London

St Mary At Hill Churchyard, St Mary At Hill, London

Churchyard, The Parish Church of St Magnus

The Martyr, Lower Thames Street London

St Dunstan In The East Church Gardens, St Dunstan's Hill, London

Public Garden Fish Wharf, London

Open Space At Junction With Byward Street, Lower Thames Street, London

Fowkes' Buildings, London

Sky Garden Walk, London

Dark House Walk, London

Grant's Quay Wharf, London

Sugar Quay Walk, London

From Dark House Walk To Custom House Walk, Old Billingsgate Walk, London

Public Open Space, The Guild Church of St Benet Paul's Wharf, Bennet's Hill, London

St Katherine Coleman Churchyard, Fenchurch Street, London

From Victoria Embankment To Blackfriars Bridge, Paul's Walk, London

From Middle Temple Lane To City Boundary, Victoria Embankment, London

Planter Bed South of Unilever House, Victoria Embankment, London

Planter Bed South of Unilever House, Victoria Embankment, London

Three Cranes Walk, London

Walbrook Wharf, London

Hanseatic Walk, London

Fishmongers' Hall Wharf, London

Passageway Between Fishmongers Hall Wharf And Fish Wharf, London

Fish Wharf, London

**Riverside Walk - Grant's
Quay Wharf**

**Grant's Quay Wharf, London
From Millennium Bridge To Sunlight Wharf,
Paul's Walk, London**

**Riverside Walk - Paul's Walk
Riverside Walk - Sunlight
Wharf**

**Sunlight Wharf, London
From Tallis Street To Victoria Embankment,
John Carpenter Street, London**

**John Carpenter Street
Riverside Walk - Broken
Wharf**

**Broken Wharf, London
From Queenhithe To Three Barrels Walk,
Bull Wharf Walk, London**

**Riverside Walk - Bull Wharf
Walk**

Three Barrels Walk, London

**Riverside Walk - Three
Barrels Walk
Riverside Walk - Fruiterers
Passage**

**Fruiterers Passage, London
Laurence Pountney Hill
Laurence Pountney Hill
From Botolph Lane To Lower Thames Street,
Monument Street, London**

**Laurence Pountney Hill
Laurence Pountney Hill**

**Monument Street
Three Quays Walk
Monument Street -
Monument**

**Three Quays Walk, London
From Fish Street Hill To Pudding Lane,
Monument Street, London
From Blackfriars Bridge To White Lion Hill,
Paul's Walk, London
From Temple Avenue To Middle Temple
Lane, Victoria Embankment, London**

**Riverside Walk - Paul's Walk
Riverside Walk - Victoria
Embankment**

Fenchurch Place

**Open Space In Front Of Fenchurch Street
Station, London Street, London**

**Riverside Walk - Dark House
Walk
St Olaves Churchyard**

**Dark House Walk, London
St Olaves Churchyard, Seething Lane, London
Whittington Garden, Upper Thames Street,
London**

**Whittington Garden
Open space at Watermark
Place**

**Open Space, Hanseatic Walk, London
Walkway To Cousin Lane, Walbrook Wharf,
London**

**Riverside Walk - Walbrook
Wharf
Lower Thames Street - The
Walrus and the Carpenter
Angel Lane**

**Open Space In Front of 17 Lower Thames
Street, London
Angel Lane, London
Open Space, Seething Gardens, Seething
Lane, London
From Upper Thames Street To Skinners Lane,
Queen Street, London**

**Seething Lane Garden
Queen Street - Southern
Gateway**

Riverside Walk - Custom House Walk	Custom House Walk, London From Queen Victoria Street To Paul's Walk And Millennium Bridge, Peter's Hill, London
Peter's Hill - City Walkway	
Seething Lane Garden/ Byward Street	From Byward Street To Muscovy Street, Seething Lane, London
Riverside Walk - Oystergate Walk	Oystergate Walk, London
Queen Street - Southern Gateway	From Upper Thames Street To Skinners Lane, Queen Street, London

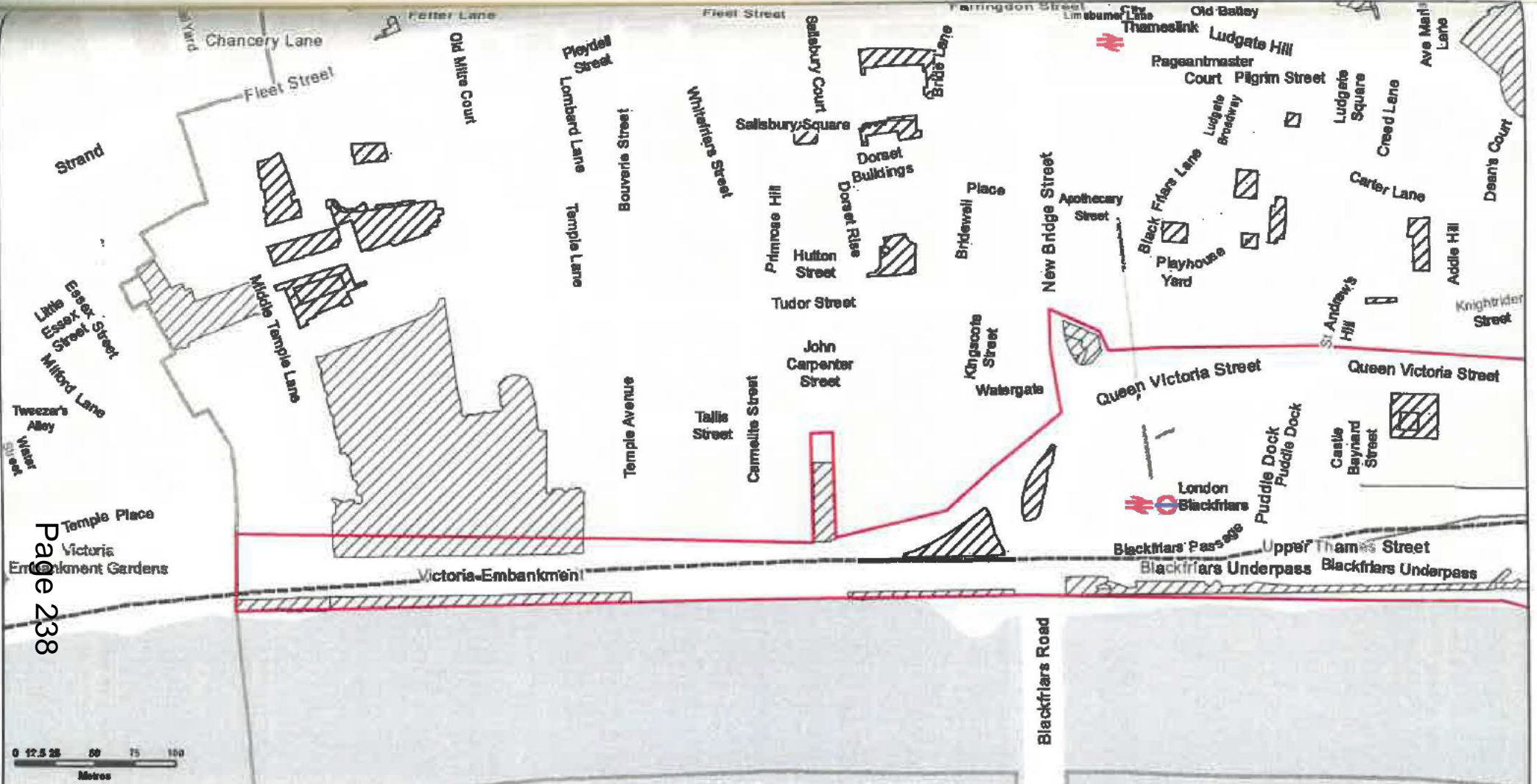
EXEMPTIONS

Nothing in this Schedule shall apply to :-

1. Premises authorised by a premises licence to be used for the supply of alcohol;
2. Premises authorised by a club premises certificate to be used by the club for the supply of alcohol;
3. A place within the curtilage of premises within paragraph 1. or 2.;
4. Premises which by virtue of Part 5 of the Licensing Act 2003 may at the relevant be used for the supply of alcohol or which, by virtue of that Part, could have been so used within 30 minutes before that time;
5. A place where facilities or activities relating to the sale or consumption of alcohol are at the relevant time permitted by virtue of a permission granted under section 115 Highways Act 1980 (highway related issues).
6. Council-operated licensed premises or land when the premises or land are being used for the supply of alcohol, or within 30 minutes of the end of the period during which the premises have been used for the supply of alcohol.

Schedule 2 to the City of London Marathon Public Space Protection Order

Map of the designated area



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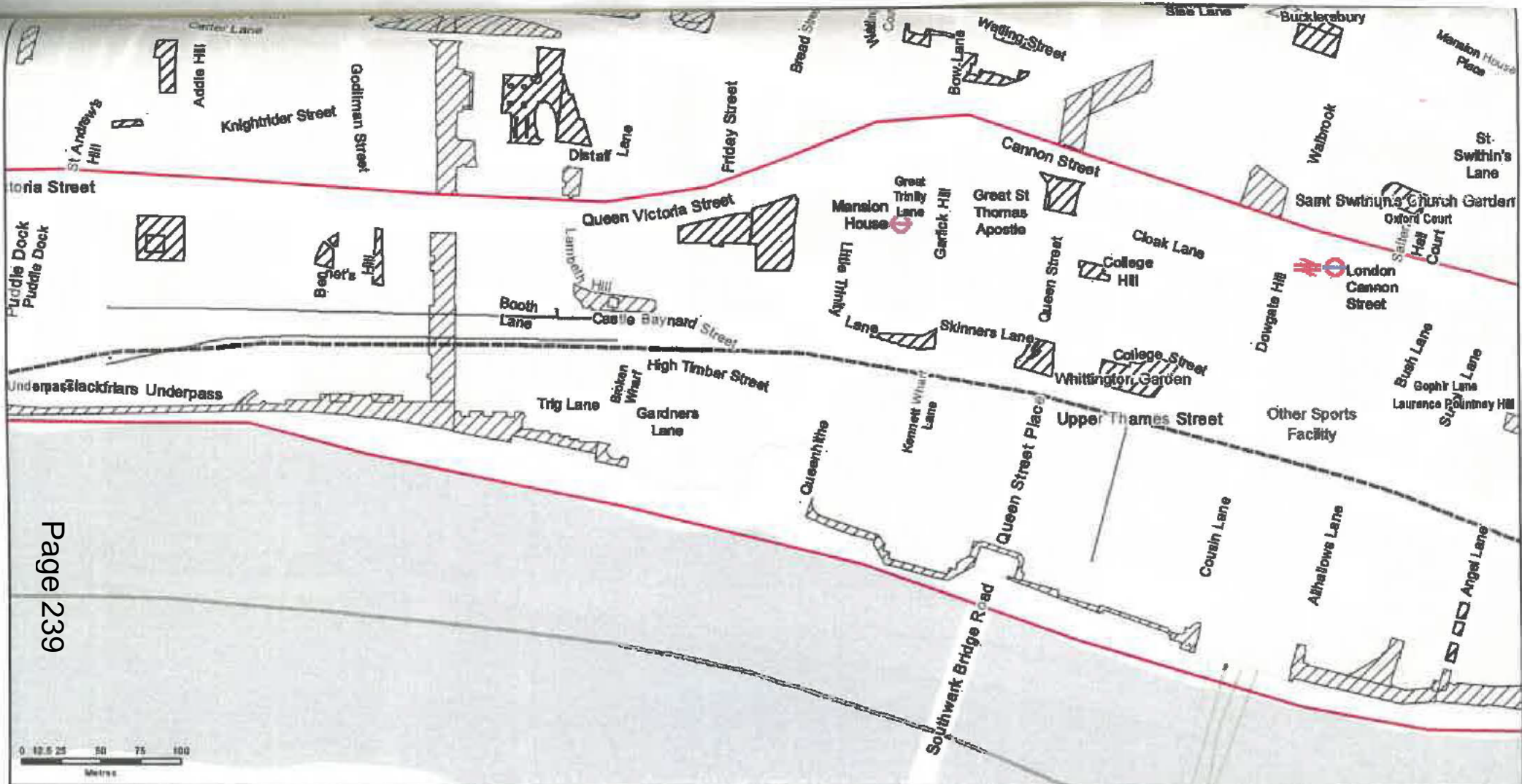
London Marathon Route - Section 1 of 4

-  Marathon Route
-  Public Open Spaces
-  City of London Boundary
-  Public Space Protection Order



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12 Mar 2020
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Corporate GIS Team





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London Marathon Route - Section 2 of 4

- Marathon Route
- Public Open Spaces
- City of London Boundary
- Public Space Protection Order



Date Created:
12 Mar 2020

Created by:
Corporate GIS Team





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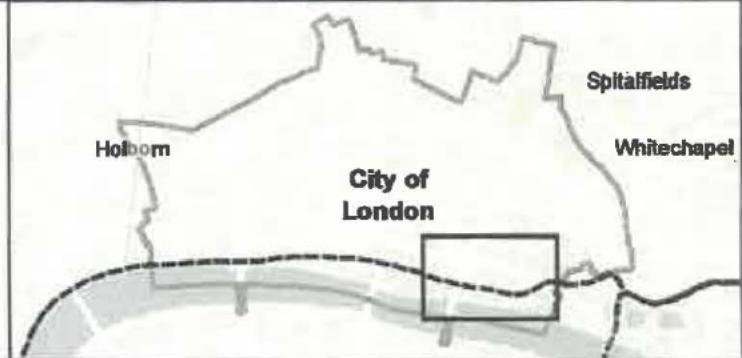
London Marathon Route - Section 3 of 4

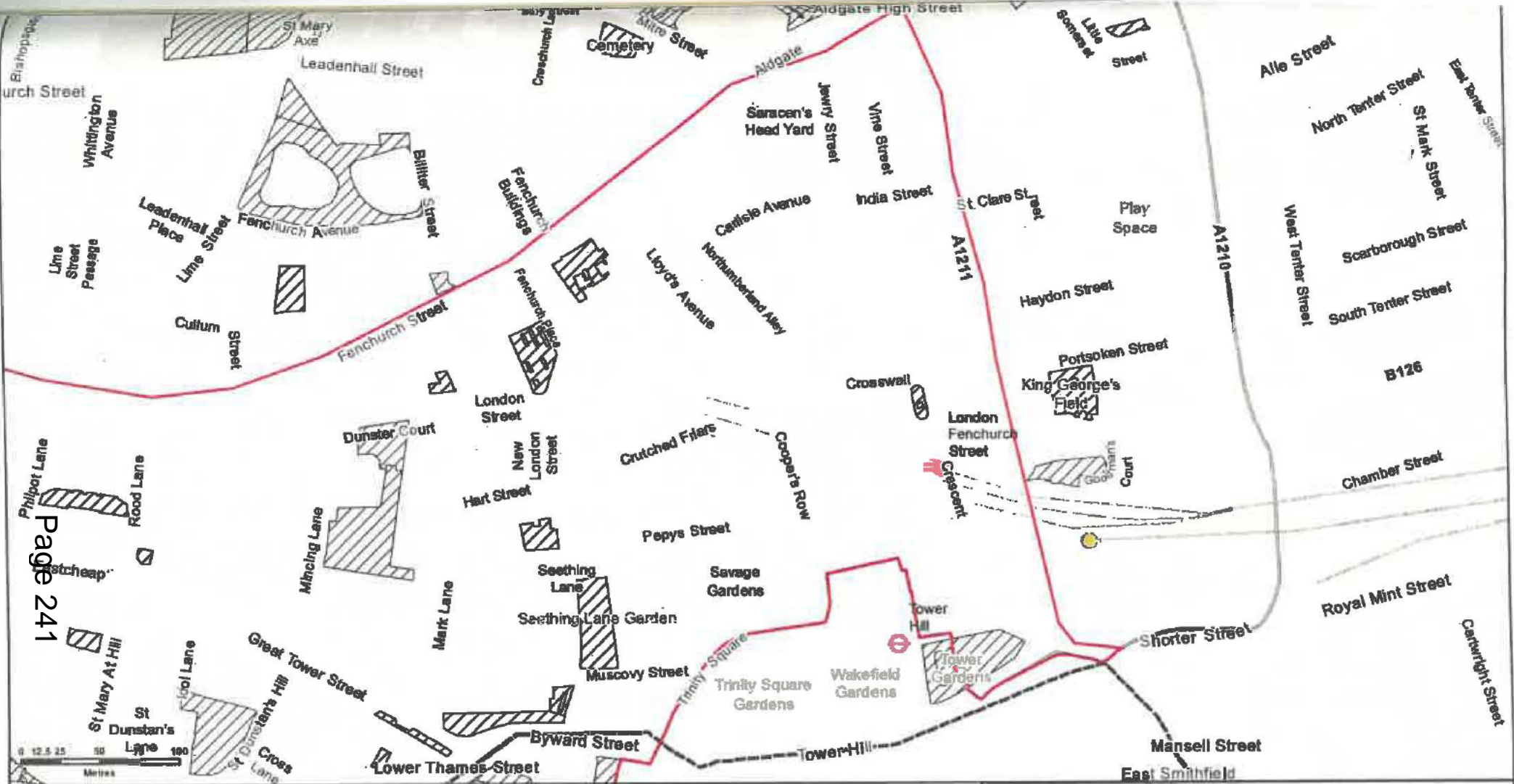
- Marathon Route
- Public Open Spaces
- City of London Boundary
- Public Space Protection Order



Date Created:
12 Mar 2020

Created by:
Corporate GIS Team





London Marathon Route - Section 4 of 4

-  Marathon Route
-  Public Open Spaces
-  City of London Boundary
-  Public Space Protection Order



Date Created:
12 Mar 2020
Created by:
Corporate GIS Team




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WITNESS STATEMENT

CJ Act 1967, s.9; MC Act 1980, ss.5A(3)(a) and 5B; Criminal Procedure Rules 2005, Rule 27.1

Statement of Mitchell Carr
Age Over 18 **Occupation:** Chief Inspector 13366 – City of London Police

This statement (consisting of: 1..... pages each signed by me) is true to the best of my knowledge and belief and I make it knowing that, if it is tendered in evidence, I shall be liable to prosecution if I have wilfully stated anything in it which I know to be false, or do not believe to be true.

Signature: 

Date: 23/11/22

I am Mitchell Carr, currently serving as a Chief Inspector with City of London Police. I make this statement with regards to the Public Space Protection Order (PSPO) which is due for potential renewal in February 2023.

I have some personal experience of the PSPO being used to good effect, in my capacity as Bronze commander for the City of London sector of the London Marathon event on 3rd October 2021 and 2nd October 2022. I am due to undertake this Bronze Commander role again for the next London Marathon scheduled for 23rd April 2023. Therefore, in summary I would wholeheartedly support the extension of the PSPO from a policing perspective.

For context, prior to the introduction of the PSPO, there were significant issues of crime and disorder. As an example, at the marathon on 28th April 2019, there were issues seen with large numbers of people congregating around a live music sound system, consuming alcohol excessively in public leading to incidents of violence and a requirement for additional police reserve units to be deployed to restore public order.

The actual use of PSPO powers has been minimal. To illustrate this, at the October 2022 marathon, there was zero use of any powers under the PSPO. Likewise at the October 2021 marathon, there were a small (less than 10) alcohol seizures and no penalty notices issued. I believe this is a result of good pre-event communications, effective signage and the use of appropriate, sensible discretion on the event day itself by the police officers deployed. This has ensured that the tone of the event – a fun, family, charitable occasion – is maintained and avoids putting police officers in direct confrontation with members of the public who are highly intoxicated.

As Bronze Commander, having the tactical option of the PSPO available is extremely beneficial in my ultimate aims of preventing crime, preventing harm and maintaining the King's peace. The existence of a PSPO forms a part of my graduated response on the day although I would always expect police officers to be deployed to engage in good natured dialogue with any members of the public to inform, persuade or advise prior to resorting to any formal use of police powers. Likewise the PSPO is a part of a whole range of tactical options including a high visibility police presence, use of CCTV and close partnership working with event organisers and stewards. Without a PSPO, I would have little legal framework to prevent excessive street drinking or Anti-Social Behaviour until such a time that it became clear criminality was occurring. The existence of the PSPO enables intervention by the police at an earlier stage to prevent crime / harm from occurring in the first place.

Therefore, for the reasons stated above, I would support the extension of the PSPO for a further 3 years.



PSPO feedback/debrief London Marathon 2022

Licensing Team

The marathon appeared successful day which saw almost all the premises we engaged with in the lead up, cooperating with the overall aim of what we wanted to achieve. Generally, a happy and enjoyable day seemed to be had by all with no atmosphere of hostility or aggression witnessed.

On arrival at 10am, Paul Holmes engaged with an illegal Ice Cream Trader who had his van Parked on the pavement adjacent to The Blue Orchid Hotel J/W Minories. In conjunction with Robert Breese from The City of London he moved away into Tower Hamlets area across the street.

Paul Holmes spoke with 4 groups in the Trinity Square and Seething Lane area, concerning possession of alcohol. All of these were non-confrontational and explained that they didn't realise the PSPO was in place. They were informed that they would have passed a number of signs en-route to the area which informed the public of the PSPO. All four consumed the drink they had and were only in possession of a small quantity in any event, so they left the vicinity.

At the request of door security at The Hung Drawn & Quartered Pub Gt Tower Street, Paul Holmes spoke to a small group of couples drinking there as the security didn't want anyone to think they had come out of their pub. The people were understanding and finished their drink and left.

Patson's (Off Licence) were visited on many occasions by COLP, they, like the small off sales premises near the Minories Pub, sold some alcohol, but not in large quantities. They both stated that they were telling people that they weren't allowed to drink in the street and risked having the alcohol removed from them by Police. We did not see the issues at Patson's that occurred in 2019 where they were queuing out of the shop to buy alcohol. This year was similar to last year for Patson's I believe, a very low-key day which passed off without having to be warned further about sales.

Paul Holmes met Matt Beaumont from Cleansing to locate the alcohol waste bin which we found in Seething lane, not exactly where it was shown on the plan, but there was an issue in that the bin was locked. Matt contacted someone to come and unlock it. A better location for this bin would be on Trinity Gardens behind the Liberty Bounds, which is where it was last time.

A bit of confusion was thrown up with the idea of no tables & chairs outside, when All Bar One near Patson's had tables & chairs but they were within the demise of their property and not on the highway. In some ways this added to people's annoyance that they couldn't take alcohol outside when they could see the tables & chairs there. All bar one customers did use them for coffee and soft drinks.

Traitors Gate had an issue with one group going outside, the manager was apologetic and posted a staff member to be at the door for the duration. Insp Hay requested that a member of staff stood on the door to prevent this, as they had no SIA. Paul Holmes has contacted the area manager Simon Gifford to ensure that security is provided on the next occasion.

Insp Hay also engaged with number of group (totalling 25 people) with regards to alcohol. There was one group which nearly lead to a ticket, however with tac coms, this was bought under control. The SOGS were then deployed at the location at about 3pm to monitor alcohol possession as it seemed to be increasing.

Report from CPU1 – Inspector SOGS Insp Ives

The below is rough count of the use of PSPO warnings.

A van - 30

B van - 15

C van – 25

Insp 3

Total - 73!

Our tactic was that if members of the public were boisterous then the full ultimatum was given and drinks disposed of. If the person approached was clearly not an anti-social risk (for example one well behaved family where the mother had a small half sized bottle of wine), they were told to finish what they had in their hand and not open any more containers or else they would have to leave the area. This approach maintained a friendly atmosphere and seemed to work, the PSPO gave officers the confidence and legal framework to enforce these tactics.

Having worked previous marathons, this was one of the most successful pieces of intelligent Policing I have come across. The warnings were effective and were used with common sense. The word clearly got around in the crowd that drinking was not tolerated and the pubs and off licences were also supportive and appeared to be conforming. The difficulty of assessing crime prevention work is that you cannot measure what doesn't happen! However I have no doubt that the good natured and successful sector that we had in the City was in no small part down to the PSPO. I would personally say that a PSPO is **essential** for the next marathon in April if we are to avoid the previous ugly scenes and injuries of marathon days past.

Kevin

Level 1 PSU Inspector – Marathon 2022

TOTAL WARNINGS GIVEN BY COLP ESTIMATED AT 100

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